

GENERAL NOTES:

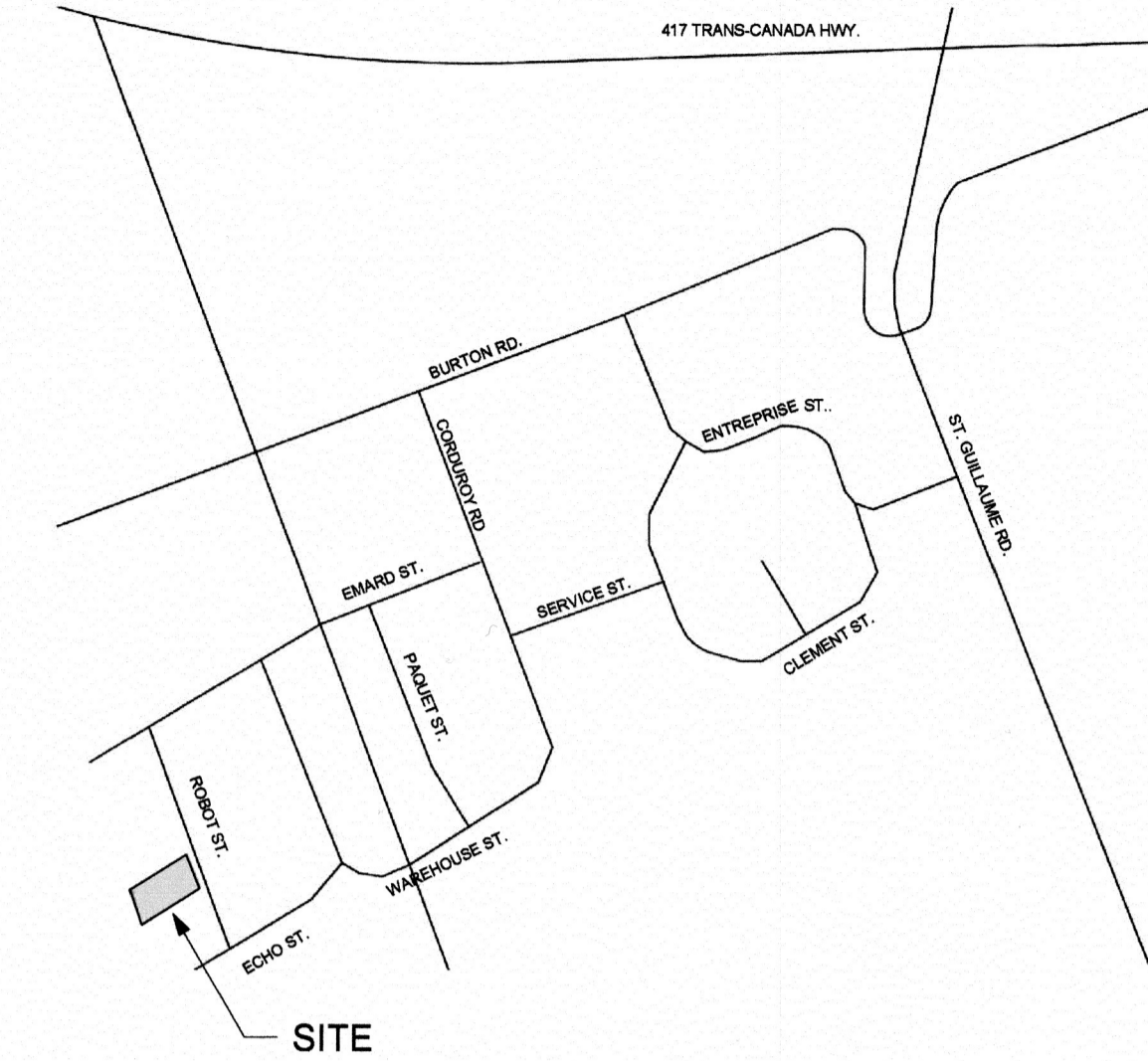
1. BASED ON SURVEY BY ANNIS, O'SULLIVAN, VOLLEBEKK DATED 3 MARCH 2022.
2. REFER TO GEOTECHNICIAN INVESTIGATION REPORT #PG6178-1, DATED 14 APRIL 2022 AS PREPARED BY PATERSON GROUP.
3. REFER TO CIVIL DRAWINGS FOR ALL CIVIL RELATED WORK.
4. PROVIDE ALL SLIT FENCES 7 OTHER SEDIMENT CONTROL AS PER CIVIL DRAWING OR AS OTHERWISE REQUIRED DUE TO CONSTRUCTION ACTIVITIES.
5. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL MECHANICAL & ELECTRICAL WORK.

NOTES:

1. FUTURE FIRE HYDRANT - SEE CIVIL DRAWINGS.
2. FUTURE WATER LINE TO CONNECT TO FUTURE WATER SERVICE - SEE CIVIL DRAWINGS.
3. CAPPED WATER LINE FOR FUTURE CONNECTION TO WATER SERVICE - SEE CIVIL DRAWINGS.
4. EXISTING EDGE OF ASPHALT - NEW ASPHALT TO MATCH - SEE CIVIL DRAWINGS.
5. EXISTING EDGE OF ASPHALT TO REMAIN.
6. SOD AREA TO PROPERTY LIE OR TO EXISTING GRASS LINE.
7. DRIVEWAY CURB.
8. UNCURBED DRIVEWAY.
9. SEPTIC SYSTEM & BED - SEE XX.
10. APPROXIMATE LOCATION OF WELL - SEE CIVIL DRAWINGS.
11. CAPPED SANITARY SEWER LINE FOR CONNECTION TO FUTURE SANITARY SERVICE - SEE CIVIL DRAWINGS.
12. UNDERGROUND FIRE WATER TANKS FOR SPRINKLER & FIRE FIGHTING - SEE CIVIL & MECHANICAL DRAWINGS.
13. FIRE WATER PIPE FROM WATER TANKS TO WATER ENTRY ROOM.
14. SOD AREA.
15. CONCRETE PADS W/ CANOPY ABOVE & CHAINLINK FENCE - SEE DRAWING ----.
16. FIRE HYDRANT CONNECTION TO WATER HYDRANT.
17. LOCATION OF 20 TON GARBAGE BIN (BIN N.I.C.)
18. EXISTING CULVERTS - SEE CIVIL DRAWINGS.
19. SWALE WITH SUBDRAIN - REFER TO CIVIL DRAWINGS.
20. RETAINING WALL.
21. NEW CULVERT - REFER TO CIVIL DRAWINGS.
22. NEW PERFORATED HDPE PIPE, REFER TO CIVIL DRAWING.

ZONING REQUIREMENTS

Municipality	Township of Russell	
Zoning	MP2 - Industrial Park Zone-Unserviced	
<b>Zoning Requirements</b>	<b>Required</b>	<b>Provided/Actual</b>
Lot Area (min.)	4000 SM	12,1140 SM
Lot Frontage (min.)	35 M	69.79 M
Lot Coverage (max.)	50%	18.5%
Building Height (max.)	15 M	9.2 M
Front Yard Setback (min.)	10.0 M	32.9 M
Rear Yard Setback (min.)	7.5 M	65.13 M
Side Yard Setback (min.)	3.0 M	8.69 M
Exterior Side Yard Setback (min.)	N/A	N/A
Landscape (min.)	10%	41.4%
Loading Spaces	1	3
Parking Spaces - Offices (4 spaces per 100 SM of GFA)	900 SM/100 SM x 4 = 36	36
Parking Spaces - Industrial (0.8 spaces per 100 SM of GFA)	1800 SM/100 SM x 0.8 = 15	15
Disabled Parking Spaces	2	2
Total Parking Spaces	51	53
<b>Project Information</b>		
Proposed Building Area	2249 SM	
Proposed Gross Floor Area	2731 SM	



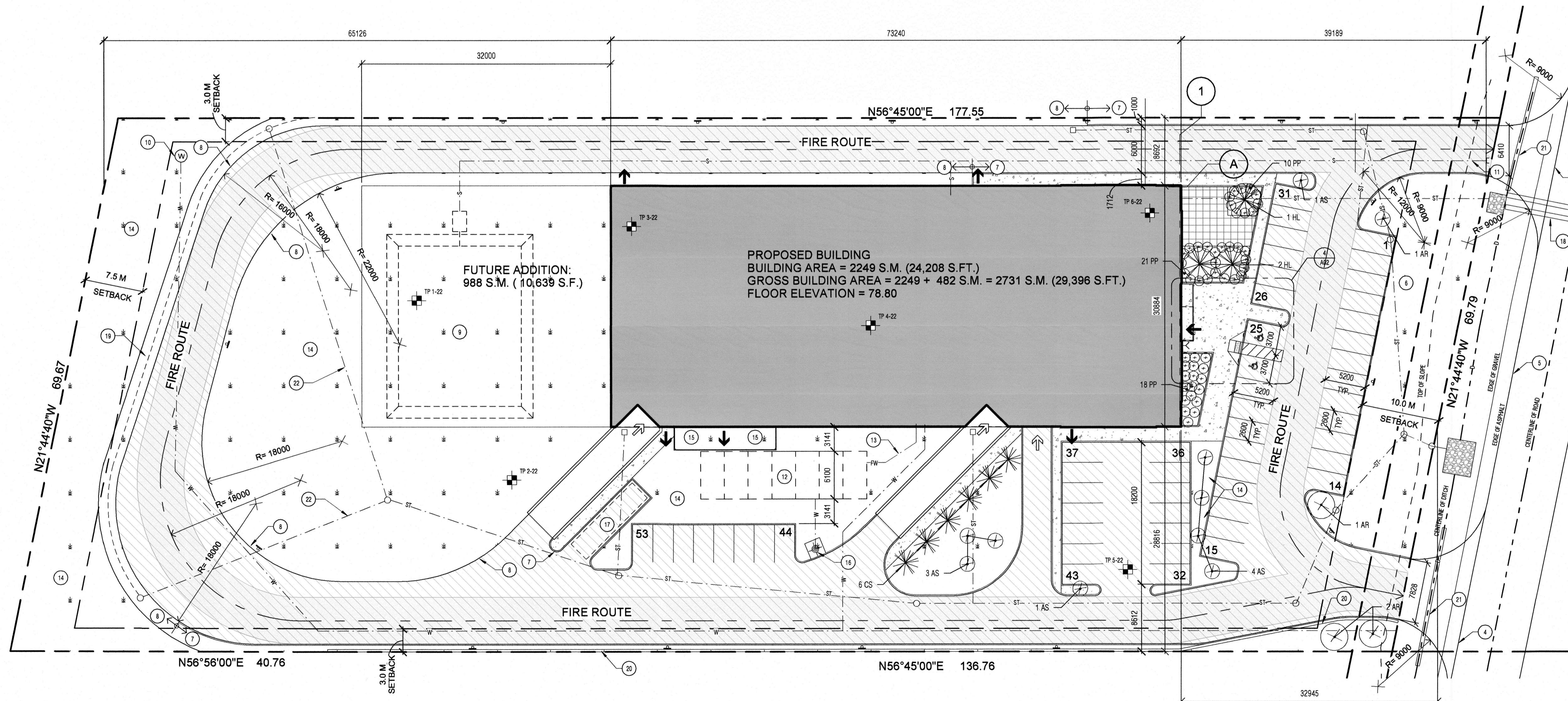
LOCATION PLAN



SITE PLAN LEGENDS:

- W--- WATER LINE
- S--- SANITARY SEWER
- ST--- STORM SEWER
- FW--- WATER FOR FIRE FIGHTER
- ⊕ FIRE HYDRANT
- ⊙ SIGN
- FIRE DEPARTMENT CONNECTION
- EXTEND OF FIRE ROUTES
- CONCRETE SIDEWALK
- ⊙ WELL
- CONCRETE CURB
- ➔ ENTRANCE / EGRESS
- ⊙ NEW BOLLARD - SEE DETAIL XXX
- ⊙ NEW TREE / SHRUB
- ⊙ LIGHT STANDARD
- ⊙ NEW FIRE ROUTE SIGN
- FIRE FIGHTING TANK
- BARRIER-FREE PARKING SPACE
- PROPERTY LINE
- ⊕ TEST PIT
- ⊙ NEW WALL MOUNT LIGHT
- AREA OF NEW GRAVEL SURFACE
- FIRE ROUTE
- CENTERLINE OF DITCH
- ➔ LOADING BAY

PLOT SCALE - 1:1



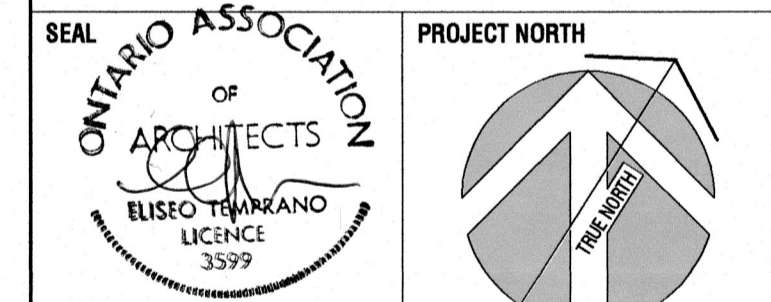
SITE PLAN  
1:300

1 SITE PLAN APPLICATION 07 Nov. 2022

REV REVISION DESCRIPTION DATE

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF PYE & RICHARDS - TEMPRANO & YOUNG ARCHITECTS INC. COPYRIGHT RESERVED

CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DIMENSIONAL ERRORS AND/OR POSSIBLE TRADE INTERFERENCE/CONFLICT FOR CLARIFICATION PRIOR TO COMMENCEMENT OF THE WORK. DO NOT SCALE DRAWINGS.



Not for construction unless SEALED and SIGNED

**P R** PYE & RICHARDS -  
**T Y** TEMPRANO & YOUNG  
ARCHITECTS INC.

824 Meath St. Suite 200 613. 724. 7700  
Ottawa, ON K1Z 6E8 info@prty.ca

PROJECT  
RAYMOND EMC BUILDING

212 ROBOT STREET RUSSEL TOWNSHIP, ONTARIO

DRAWING  
SITE PLAN

PROJECT NO. 21036 DRAWING NO. A01  
SCALE - As indicated  
DRAWN - Y.C.  
CHECKED - G.K.  
PLOT DATE - 2022-11-07 PLOTTED BY -

SHEET SIZE: A1