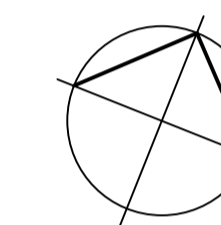




North



Revisions

No.	By	Description	Date
05	JF	ISSUED FOR SITE PLAN CONTROL	19 OCT 2023
04	JF	ISSUED FOR COORDINATION	11 SEP 2023
03	AP	ISSUED FOR COORDINATION	10 AUG 2023
02	JF	ISSUED FOR SPA PRE-CONSULTATION	22 JUN 2023
01	JF	ISSUED FOR OWNER REVIEW	21 JUN 2023

Project

**BATTLESHIELD INDUSTRIES BUILDING EXPANSION**

347 CORDUROY ROAD, VARS, ONTARIO

Drawing  
**PROPOSED SITE PLAN**

Scale AS NOTED

Drawn J.F.

Checked J.F. / C.D.

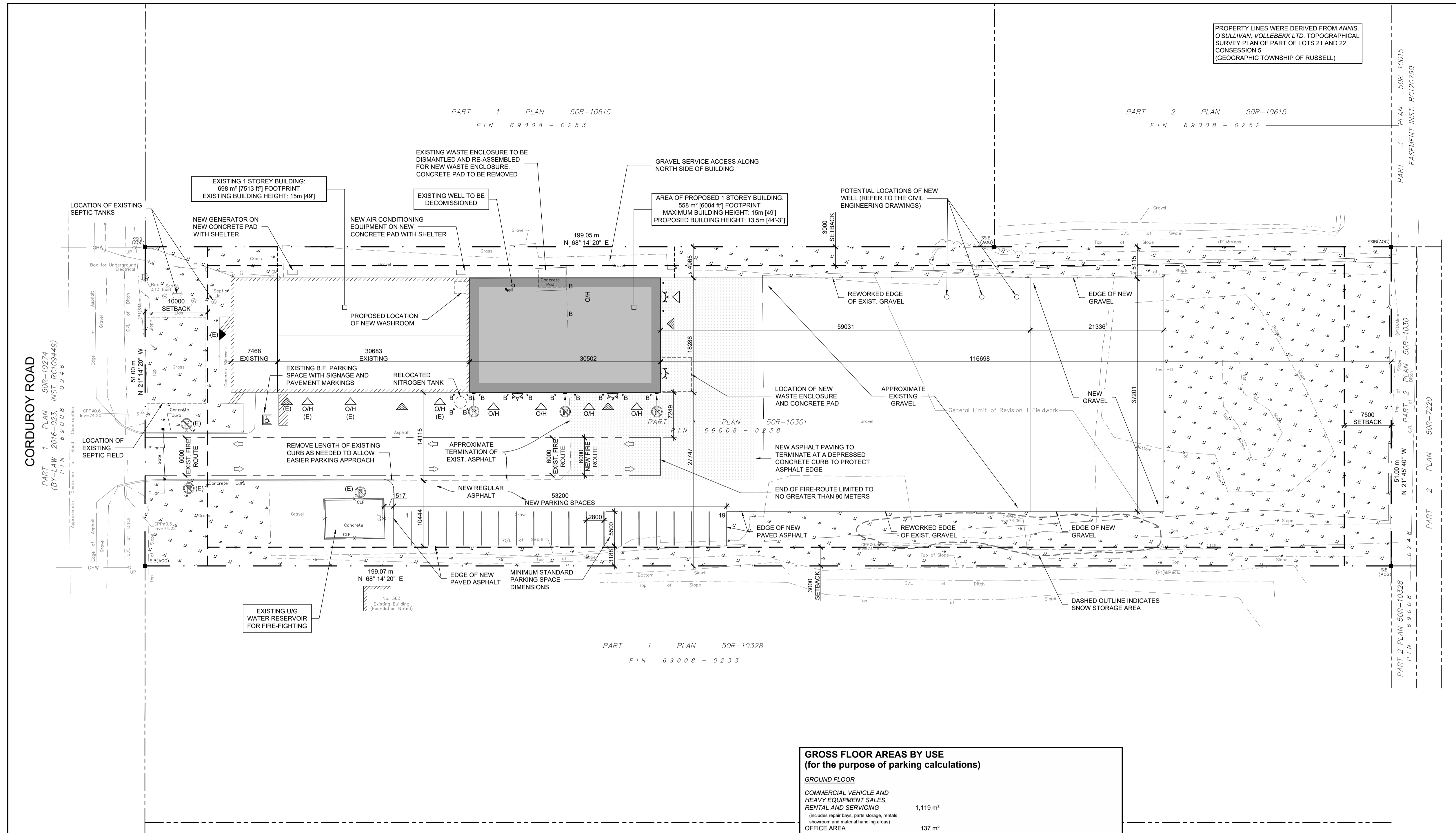
Project No. 23-124

Date MAY 2023

Stamp

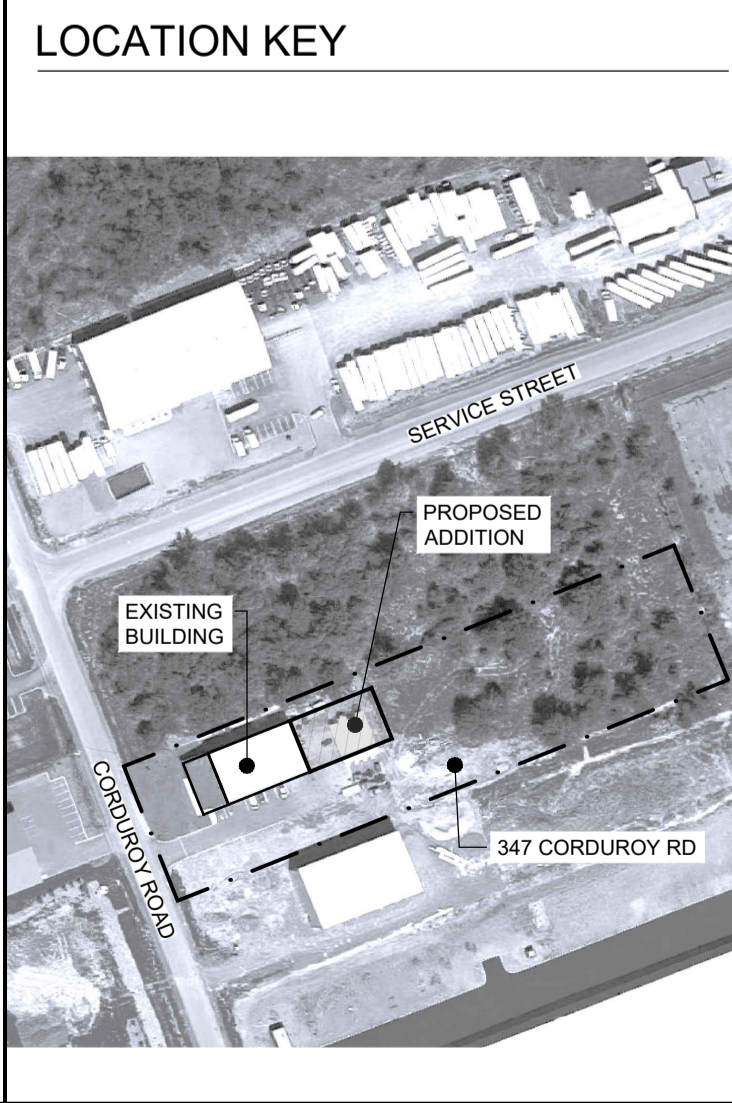
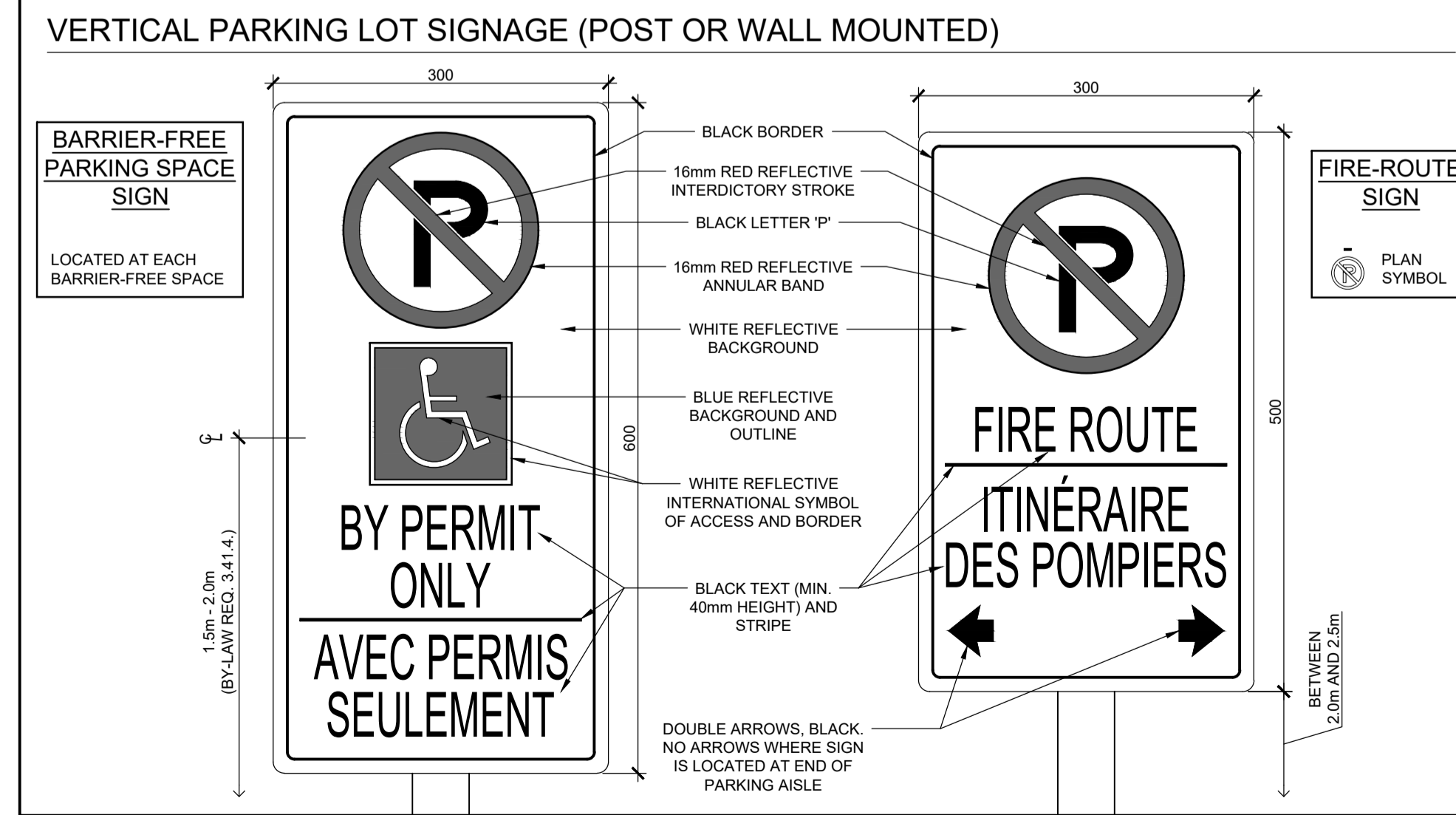


Drawing No. **SP-A01**



**GROSS FLOOR AREAS BY USE (for the purpose of parking calculations)**

Use	Area (m²)
COMMERCIAL VEHICLE AND HEAVY EQUIPMENT SALES, RENTAL AND SERVICING	1,119
OFFICE AREA	137



**ZONING INFORMATION**

PER THE ZONING BY-LAW OF THE MUNICIPALITY OF THE TOWNSHIP OF RUSSELL - JULY 2018

**LEGAL DESCRIPTION:** PLAN OF SURVEY OF PART OF LOTS 21 & 22, CONVESSION 5

**PROPOSAL:** NEW 588 m² (1 6 004 m²) SINGLE STOREY ADDITION TO AN EXISTING 698 m² (7 513 m²) BUILDING.

**ZONING:** DESIGNATION: (MP2) INDUSTRIAL PARK ZONE (SECTION 7)

**ZONING PROVISIONS (PER TABLE 7.4.2):**

- LOT AREA (MIN.) = 4000 m²
- ACTUAL LOT AREA = 10 152 m²
- LOT FRONTAGE (MIN.) = 35 m
- ACTUAL FRONTAGE = 51 m
- SETBACKS (MIN.):
  - FRONT = 10.0 m
  - INT. SIDE = 3.0 m
  - REAR = 7.5 m
- LANDSCAPED OPEN SPACE = 10% MIN. ACTUAL LANDSCAPE OPEN SPACE = 40.5% (4 108 m²)
- LOT COVERAGE = 50% MAX. ACTUAL LOT COVERAGE = 12.4% (1 256 m²)
- MAX. BUILDING HEIGHT = 15 m
- ACTUAL HEIGHT = 10.5 m

**LOADING REQUIREMENTS:** (PER TABLE 6 UNDER 3.01.1)

BASED ON THE GROSS FLOOR AREA OF THE BUILDING, A MINIMUM OF 1 LOADING SPACE IS REQUIRED.

**PARKING:**

**REQUIREMENTS (SECTION 3.41.1):** COMMERCIAL VEHICLE AND HEAVY EQUIPMENT SALES, RENTAL AND SERVICING REQUIRES 1.0 PARKING SPACES PER 100m² OF GROSS FLOOR AREA. PARKING SPACES UNDER THIS SECTION RECOGNIZE ONLY THOSE WHICH ARE WITHIN THE PROPERTY BOUNDARY.

REQUIRED: 12 SPACES

OFFICE USE REQUIRES 4 PARKING SPACES PER 100m² OF GROSS FLOOR AREA. PARKING SPACES UNDER THIS SECTION RECOGNIZE ONLY THOSE WHICH ARE WITHIN THE PROPERTY BOUNDARY.

REQUIRED: 2 SPACES

TOTAL REQUIRED: 14 SPACES

TOTAL PROVIDED: 19 SPACES

**BARRIER-FREE PARKING (3.41.4):** RESERVED BARRIER-FREE PARKING SPACES IN ACCORDANCE WITH TABLE 10:

REQUIRED: 1 SPACES

PROVIDED: 1 SPACES

PAVEMENT MARKINGS AND SIGNAGE FOR BARRIER-FREE PARKING SHALL COMPLY WITH SECTION 3.41.4 OF THE ZONING BY-LAW 2018-094.

