

**ZONING PROVISIONS:**  
**ZONE:** MP2 - INDUSTRIAL PARK - UN-SERVICED  
 1 STOREY BUILDING - FRONTING ON WAREHOUSE ST.  
 1,252m<sup>2</sup> GFA  
**BUILDING USES:**  
 567m<sup>2</sup> - EQUIPMENT SERVICE GARAGE  
 337m<sup>2</sup> - WAREHOUSE  
 348m<sup>2</sup> - OFFICE

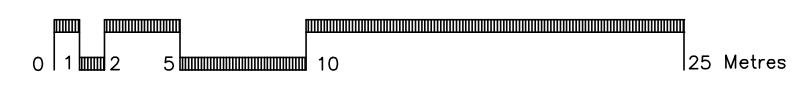
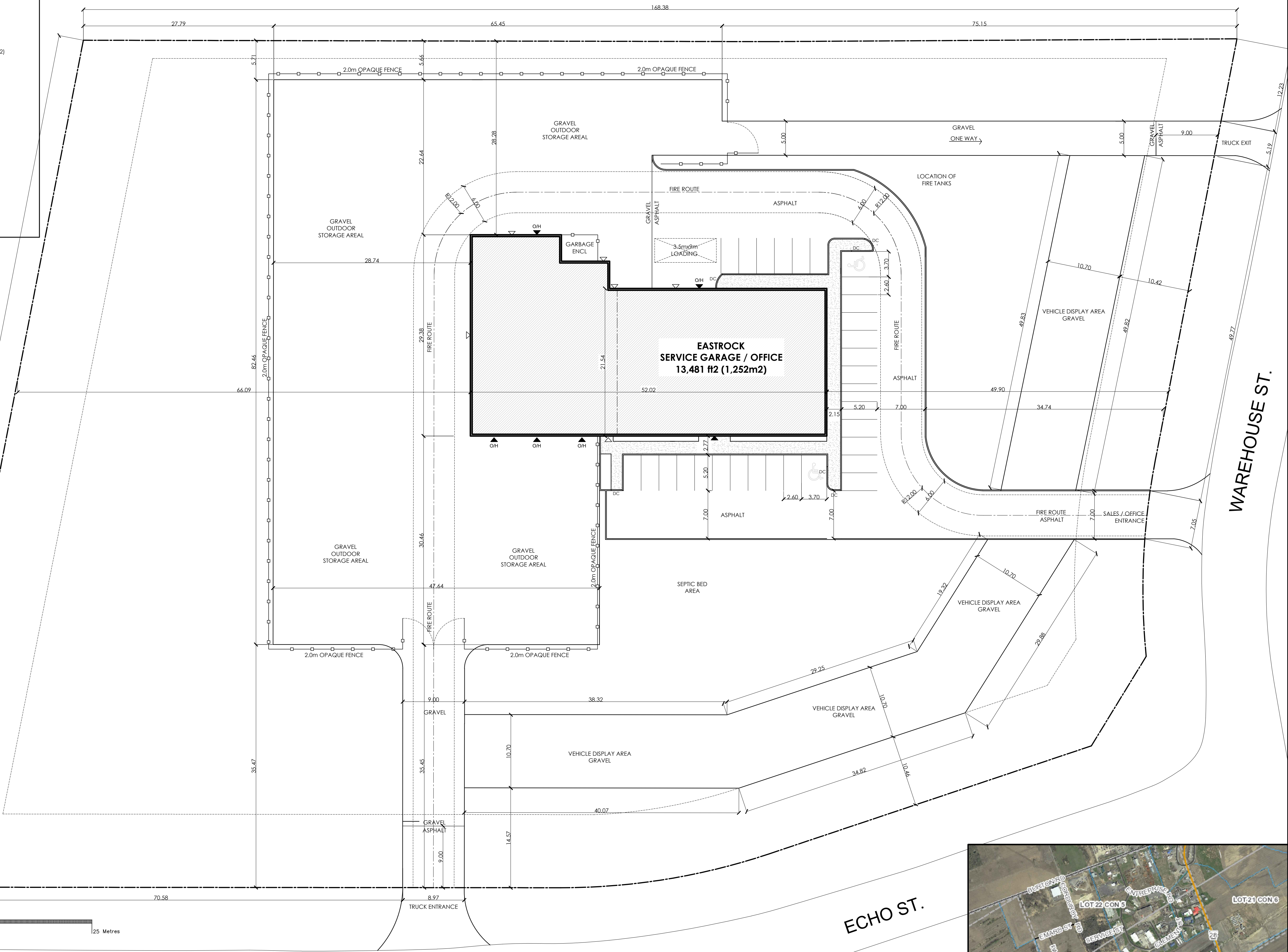
MECHANISM	REQUIRED	PROPOSED
MIN. LOT AREA	0.4ha	2.02ha (20198m <sup>2</sup> )
MIN. LOT FRONTAGE	35m	105m
MAX. LOT COVERAGE	50%	6.2%
MIN. FRONT SETBACK	10m	50m
MIN. CORNER YARD	10m	44m
INT. YARD SETBACK	3m	28.7m
MIN. REAR YARD SETBACK	7.5m	44.8m
MAX. BUILDING HEIGHT	15m	9.14m
LANDSCAPE OPEN SPACE	10%	54.3%

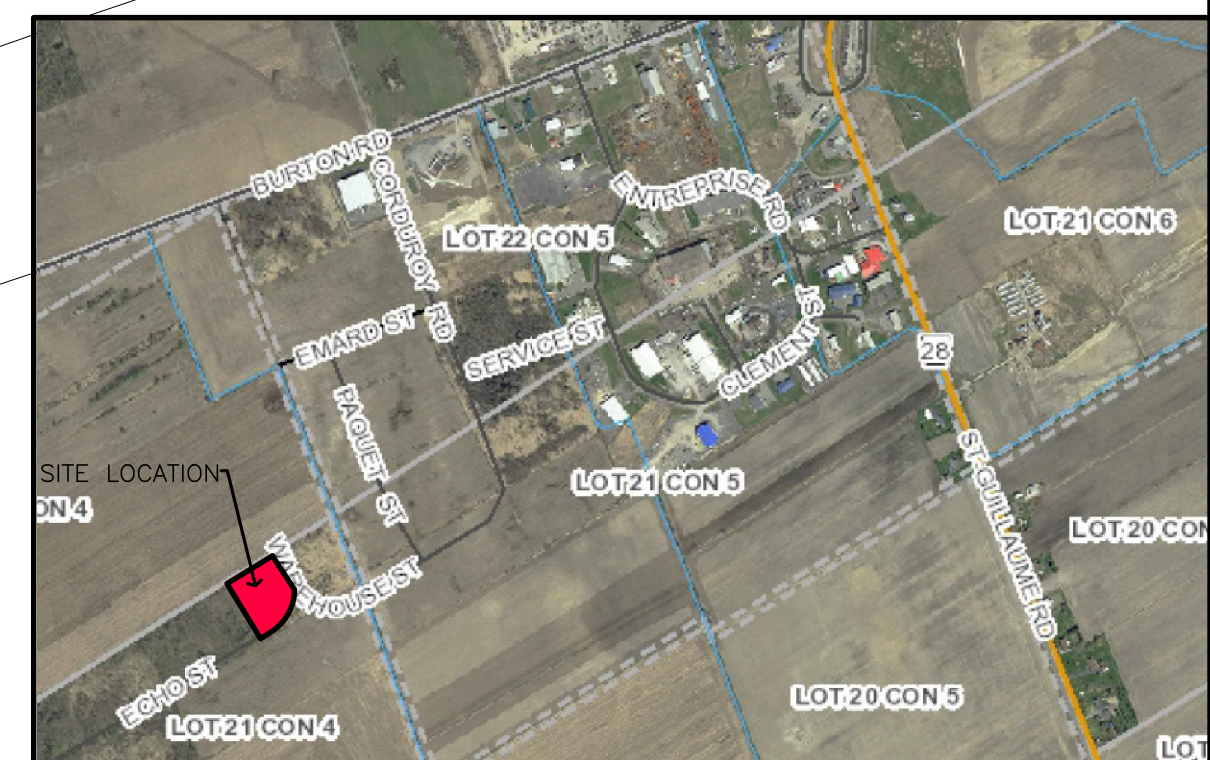
PARKING	MIN. REQUIRED SPACES	PROPOSED
SERVICE	(1/100m <sup>2</sup> ) 6	30
WAREHOUSE	(0.8/100m <sup>2</sup> ) 5	23
OFFICE	(4/100m <sup>2</sup> ) 14	2
TOTAL PARKING 2.6mX5.2m		55
TOTAL BARRIER FREE SPACES 3.7m X 5.2m		1
LOADING SPACES 9mX3.5m		1

**NOTES & LEGEND**

- TOP OF FOUNDATION
- TOP OF FLOOR
- USE
- MAIN ENTRANCE LOCATION OVERHEAD SIGN
- EXIT LOCATIONS
- BOLLARD
- DEPRESSED CURB
- PROPERTY LINE
- LINE OF SETBACKS
- FIRE HYDRANT
- CATCH BASIN MAN HOLE
- CATCH BASIN
- LANDSCAPE CATCH BASIN



1 SITE PLAN  
 SP1 SCALE: 1:300

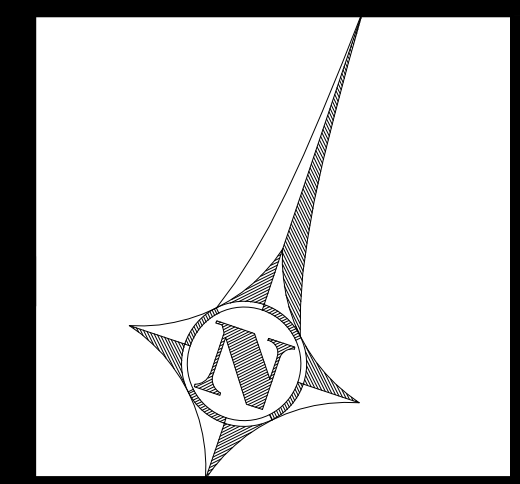


2 SITE KEY MAP  
 SP1 SCALE: NTS

**REVISION**

NO.	DATE	REVISION
1	JAN. 17 /2019	ISSUED FOR SPA
2		
3		
4		
5		

CIVIL ENGINEER:



**BBS**  
 BUILDING A REPUTATION ON EXCELLENCE  
 BBS CONSTRUCTION (ONTARIO) LTD.  
 1805 WOODWARD DRIVE,  
 OTTAWA, ON K2C 0P9  
 TEL: 613-226-8830 FAX: 613-226-7709  
 www.bbsconstruction.ca

OWNER:  
 EASTROCK INC.



PROJECT:  
 EASTROCK SERVICE GARAGE  
 417 INDUSTRIAL PARK  
 RUSSELL ON

DRAWING TITLE:  
 SITE PLAN

PROJECT N°: 477-18  
 SCALE: AS NOTED  
 DRAWN BY: MK  
 DATE: 11/23/2018

DRAWING NO.  
**SP1**