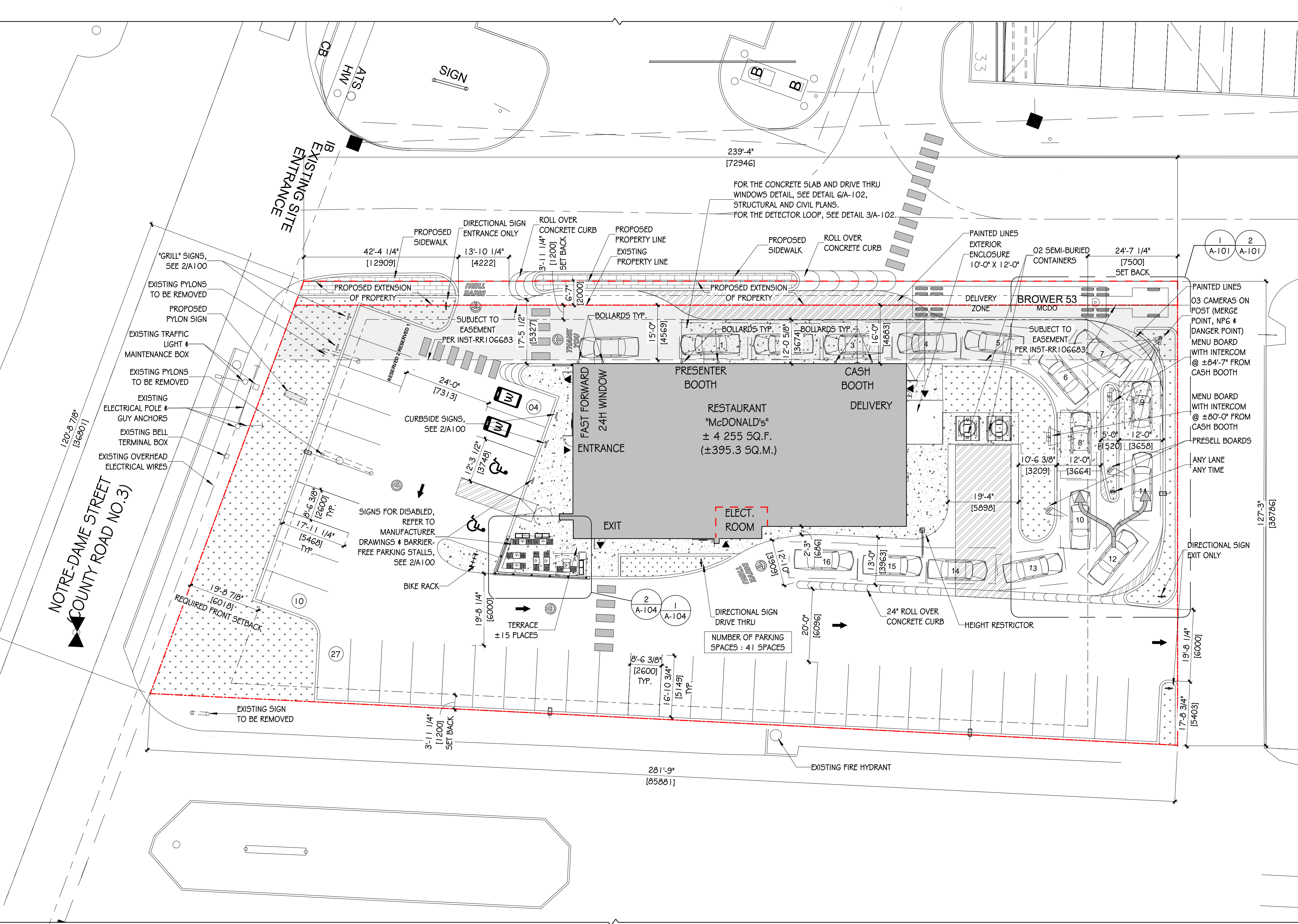


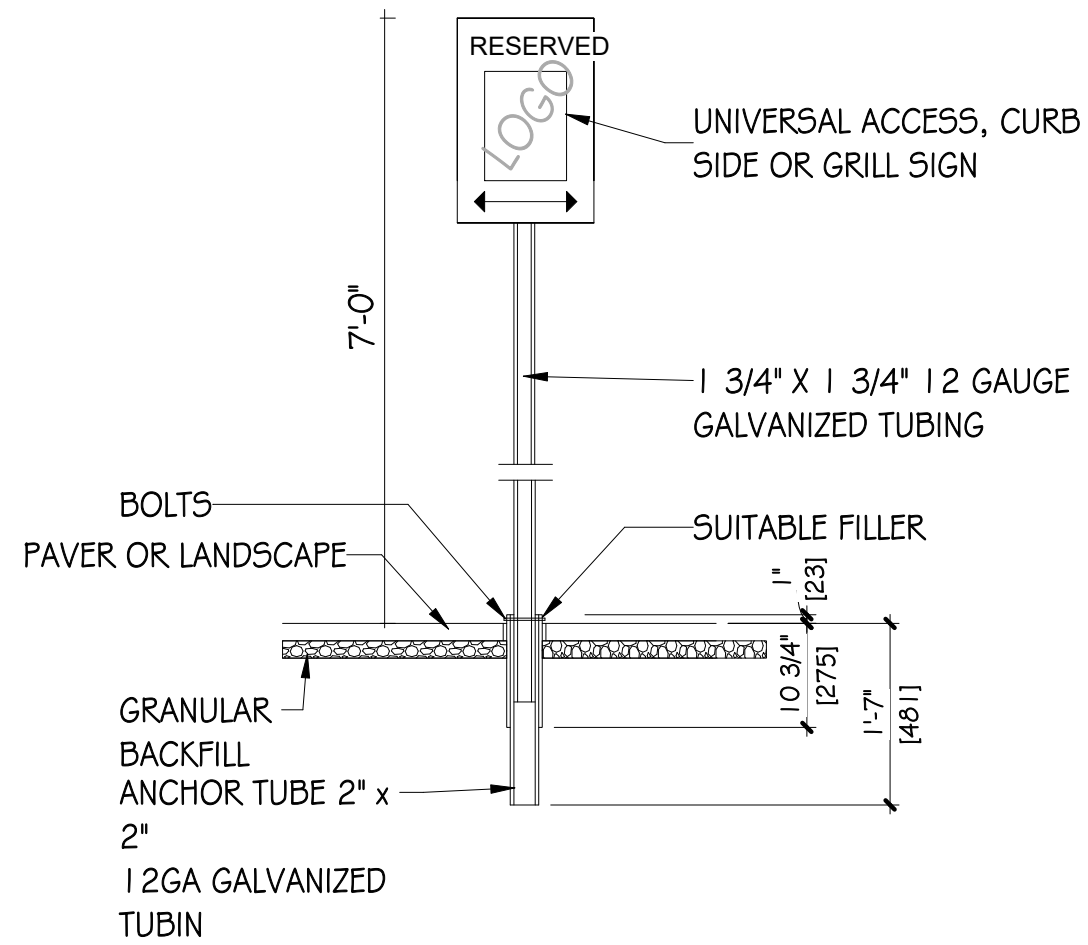
ZONING PARAMETERS	
<p>NAME OF PROJECT: McDONALD'S EMBRUN</p> <p>PROJECT LOCATION: 753, Notre-Dame street, Embrun, ON</p> <p>LOT NUMBER: PART OF LOT #9, CONCESSION G</p>	
<p>TOWNSHIP OF RUSSELL</p> <p>ZONING BY LAW - JULY 2018</p> <p>THE PROPERTY IS ZONED "GENERAL COMMERCIAL (C)"</p>	
<p>1. OCCUPANCY: RESTAURANTS (C)</p>	<p>6. PROPOSED PROPERTY AREA: ± 31 406 SQ.F., ± 2 917.75Q.M.</p>
<p>2. BUILDING: DETACHED</p>	<p>7. NUMBER OF REQUIRED PARKING SPACES: 41 SPACES RESTAURANT USE: (BUILDING AREA + TERRACE AREA / 10 SQ.M.) (389.7 + 15) / 10 = 41</p>
<p>3.1 SET BACKS REQUIRED: FRONT (MIN.) = 6 M INTERIOR SIDE YARD (MIN.) = 1.2 M (COMMERCIAL ZONE) REAR (MIN.) = 7.5 M</p>	<p>8. NUMBER OF PROPOSED PARKING SPACES: 41 SPACES</p>
<p>3.2 SET BACKS PROPOSED: FRONT = 6 M INTERIOR SIDE YARD = 1.2 M (COMMERCIAL ZONE) REAR = 7.5 M</p>	<p>9. PARKING DIMENSIONS: BARRIER-FREE: 3.7M X 5.2M STANDARD: 2.6M X 5.2M DIMENSION OF AISLE: 6M MIN.</p>
<p>4. BUILDING (REQUIRED REGULATION): STOREY: 2 MAXIMUM HEIGHT: 10m MAXIMUM</p>	<p>10. LANDSCAPE OPEN SPACE: ± 3 801 sq.m. (± 353 sq.m.) ± 12 %</p>
<p>5. PROPOSED BUILDING: HEIGHT: 01 STOREY, 5.49 M BUILDING AREA: ± 395.3 SQ.M. RESTAURANT'S FLOOR AREA: ± 366 SQ.M.</p>	

SITE PLAN LEGEND	SITE PLAN LEGEND
<p>LANDSCAPING PROCEEDED TO LANDSCAPE PLANNING AS REFERENCE PLANS AND DRAWINGS UP TO THE STREET LINE. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AND LAY OFF THE LAWN TO THE EDGE OF THE STREET OR SIDEWALK.</p>	<p>LANDSCAPING CURBS: UNIVERSAL CURB BY PERMACOM, COLOR GREY DIMENSIONS: 200 MM X 80 MM X 1000 MM 8" (H) X 3" (L) X 39" (LONG) BETWEEN THE PAVEMENT AND LANDSCAPING</p>
<p>LAMP POST (SEE ELECTRICAL DWG)</p>	<p>ACCESS TO BUILDING</p>
<p>PROPERTY LINE</p>	<p>HIGH-DENSITY BIKE RACK, CP-7 GALVANIZED FINISH PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR</p>
<p>INTERVENTION LINE</p>	<p>SEMI BURIED CONTAINERS BY: DURABAC: URBIN MODEL OR EQUIVALENT PROVIDED AND INSTALLED BY GENERAL CONTRACTOR</p>
<p>NEW CONCRETE CURB, SEE DETAIL SHEET A1.4 & CIVIL DRAWINGS</p>	

SITE PLAN SPECIFIC NOTES
<p>NOTE:</p> <p>LANDSCAPING CONTRACTOR SHALL PROVIDE AND INSTALL THE GRASS UNTIL THE CURB OR SIDEWALK OF THE STREET.</p> <p>EQUIPMENT CONCRETE BASES: FOR DETAILS OF EQUIPMENT CONCRETE BASES OF DRIVE THRU, DIRECTIONAL SIGNS, AND LIGHT POSTS ETC. SEE DETAILS ON SHEET MD-102</p> <p>PAINTING PAINTED LINE: PAINT TO MATCH THE STANDARD MTQ-10201 AS SICO SICOZONE # 618-179 (WHITE)</p> <p>MARKING: PAINT TO MATCH THE STANDARD MTQ-10201 AS SICO SICOZONE # 618-526 (YELLOW)</p> <p>BUILDING LOCATION: THE CONTRACTOR SHOULD VALIDATE THE SURVAY PLAN WITH THIS SITE PLAN TO ENSURE THAT THE PROPERTY LINES ARE IN THE CORRECT LOCATION.</p>



- NOTE:
- ANY FREE STANDING SIGN IN ASPHALT PARKING LOT SHALL BE MOUNTED AS SHOWN
 - WHERE APPLICABLE, LOCAL ACCESSIBILITY GUIDELINES SHALL GOVERN OVER THIS DETAIL



2 TYPICAL ACCESSIBLE PARKING SIGN
A-100 1 : 20

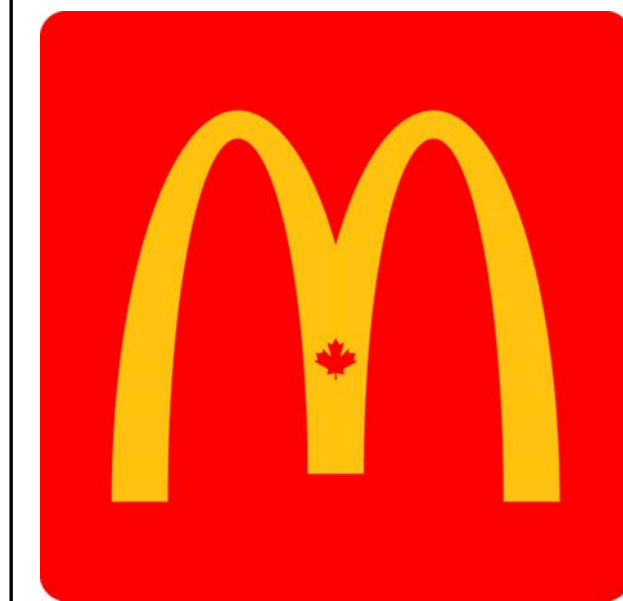
1 SITE PLAN
A-100 1 : 200

IMPORTANT

NE PAS MESURER LES PLANS, LIRE LES COTES SEULEMENT.
L'ENTREPRENEUR DOIT VÉRIFIER TOUS LES DÉTAILS, DÉTAILS, SPÉCIFICATIONS, DIMENSIONS ET MESURES ANSI QU'LES CONDITIONS DE LOCAL OU DU CHANTIER, ET SIGNALER TOUTES ERREURS, OMISSIONS ET / OU ANOMALIES AVANT DE COMMENCER LES TRAVAUX. TOUS LES CHANGEMENTS OU SUBSTITUTIONS DE DÉTAILS ET DE MATÉRIELS SPÉCIFIÉS SUR CE PLAN DEVONT ÊTRE APPROUVÉS PAR L'ARCHITECTE OU LE CONCESSIONNAIRE.

DO NOT SCALE DRAWINGS, READ DIMENSION FIGURES ONLY.
CONTRACTOR SHALL VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS, DIMENSIONS AND MEASUREMENTS AS WELL AS ALL SITE OR PREMISES CONDITIONS AND NOTIFY THE DESIGNER OF ALL ERRORS, OMISSIONS AND / OR ANOMALIES BEFORE BEGINNING THE WORK. ANY CHANGES OR SUBSTITUTIONS TO DETAILS OR SPECIFIED MATERIALS SHOWN ON THIS DRAWING MUST BE APPROVED BY THE ARCHITECT OR THE DESIGNER.

#	DATE	DESCRIPTION	PAR
1	2019-05-24	PRELIMINARY COORDINATION	B.R.
2	2019-05-31	50% COORDINATION	B.R.
3	2019-06-21	SITE PLAN AGREEMENT	B.R.



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www.mcdonalds.ca

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ARCHITECTURE & DESIGN: **mro** 443 rue Saint-Claude, Montréal, Québec H2Y 3B6
Tel: 514.485.6766 Fax: 514.483.9093

DOSSIER No / FILE No.: MCD 1904-552

MECANICAL & ELECTRICAL: **MESCO** 125 boulevard Guimond, bureau 210 Longueuil, Québec J4G 2M7
Tel: 514.307.6372

DOSSIER No / FILE No.:
STRUCTURE:

sdk 1751 rue Richardson, # 2120 Montréal, Québec H3K 1G6
Tel: 514.398.5995 Fax: 514.938.9470

DOSSIER No / FILE No.:
CIVIL:

CIMA+ 800-740 rue Notre-Dame Ouest, Montréal, Québec H3C 3J9
Tel: 514.353.7602 Fax: 514.281.1632

DOSSIER No / FILE No.:
LANDSCAPE:

THAKAR ASSOCIATES DESIGN CONSULTANTS 54 Bennett Street, Ottawa, Ontario K1V 9L4
Tel: 613.523.7602 Fax: 613.523.2262

DOSSIER No / FILE No.:
SCAUF: REAL:

CHARGÉ DE PROJET / PROJECT MANAGER: N. ARCH
SIGNÉ PAR / APPROVED: M. Renaud

CLIENT: McDonald's Restaurants Canada Limited

PROJET / PROJECT: McDONALD'S EMBRUN
753 Notre-Dame street, Embrun, ON

DÉPARTEMENT / DEPARTMENT: ARCHITECTURE & INTERIOR DESIGN

TITRE DU DESSIN / DRAWING TITLE: SITE PLAN AND ZONING PARAMETER

ÉCHELLE / SCALE: Comme indiqué
DESSINÉ PAR / DRAWN BY: B.R.

DATE: 2019/06/21

No SITE / SITE: 40824
A-100 32

DOSSIER: 1904-569
FEUILLE / SHEET: DE