## THIS IS BASED ON CONCEPTUAL RENDERS AND COULD BE DIFFERENT THAN THE ACTUAL FINISHED PLANS





1047 NOTRE DAME STREET, P.O. BOX 928, EMBRUN, ON, KOA IWO

WEBSITE: WWW.LAYOIEDESIGN.CA EMAIL: INFO@LAYOIEDESIGN.CA 613-443-3461

## DRAWINGS INDEX:

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PAGE 2 REAR ELEVATION
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PAGE 6 MAIN FLOOR PLAN
PAGE 7 2D FLOOR PLAN
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PROJECT NUMBER:

DRAWN BY: NICOLAS LEDUC

VERIFIED BY: NICOLAS LEDUC

ISSUED FOR BUILDING PERMIT: MONTH DAY, 2025

## PROPOSED APARTMENT BUIDLING FOR PEAK PROPERTY DEVELOPMENT









FRONT ELEVATION

6CALE: 1/8" = 1'-0"

PROFESSIONAL	ENGINEER

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

PRODUCTS & MATERIAL SHALL NOT BE ORDERED WITH THESE DRAWINGS

I, DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDERS UBSECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.: FIRM B.C.I.N.: 112054

DATE

REGISTERED B.C.I.N ARCHITECTURAL DESIGNER

3	ISSUED FOR SITE PLAN CTRL	04/25/20
2	ISSUED FOR PRE-CONSULT	12/12/202
T	ISSUED FOR PRELIMINARY	11/21/202-
NO.	REVISIONS	DATE



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PROPOSED APARTMENT BUIDLING FOR PEAK PROPERTY DEVELOPMENT

PROJECT NO.	2024-0102	DRAWINGS NO
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REAR ELEVATION

SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER

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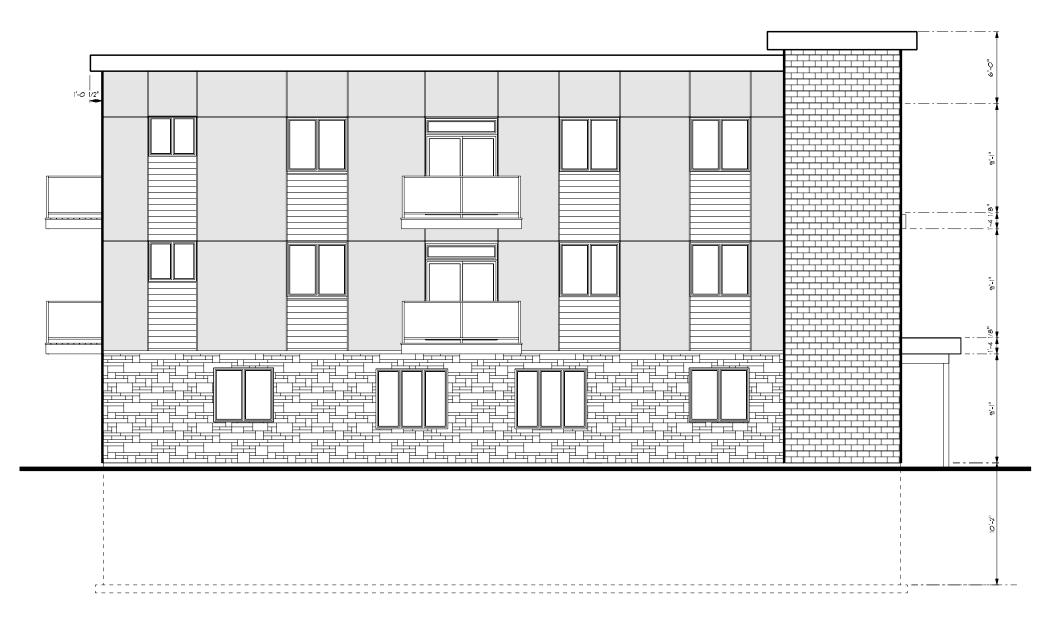
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PROPOSED APARTMENT BUIDLING FOR PEAK PROPERTY DEVELOPMENT

PROJECT NO.	2024-0102	DRAWINGS
DRAWN BY	N.LEDUC	2/
VERIFIED BY		/ 8



 $\underset{\text{@CALE: } 1/8"}{\textbf{LEFT}} \underset{\text{ELEVATION}}{\textbf{ELEVATION}}$ 

PROFESSIONAL ENGINEER
PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION PRODUCTS & MATERIAL SHALL NOT BE ORDERED WITH THESE DRAWINGS
I, ,DECLARE THAT I REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN
MINITARE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER BUBBECTION 3.2.4 OF DIVISION C, OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES / CATEGORIES.  INDIVIDUAL B.C.I.N.: 112054  DATE  REGISTERED B.C.I.N.  REGISTERED B.C.I.N.  REGISTERED B.C.I.N.  ARCHITECTURAL DESIGNER
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B 166UED FOR 6ITE PLAN CTRL 04/25/20 2 ISSUED FOR PRE-CONSULT 12/12/2024 ISSUED FOR PRELIMINARY

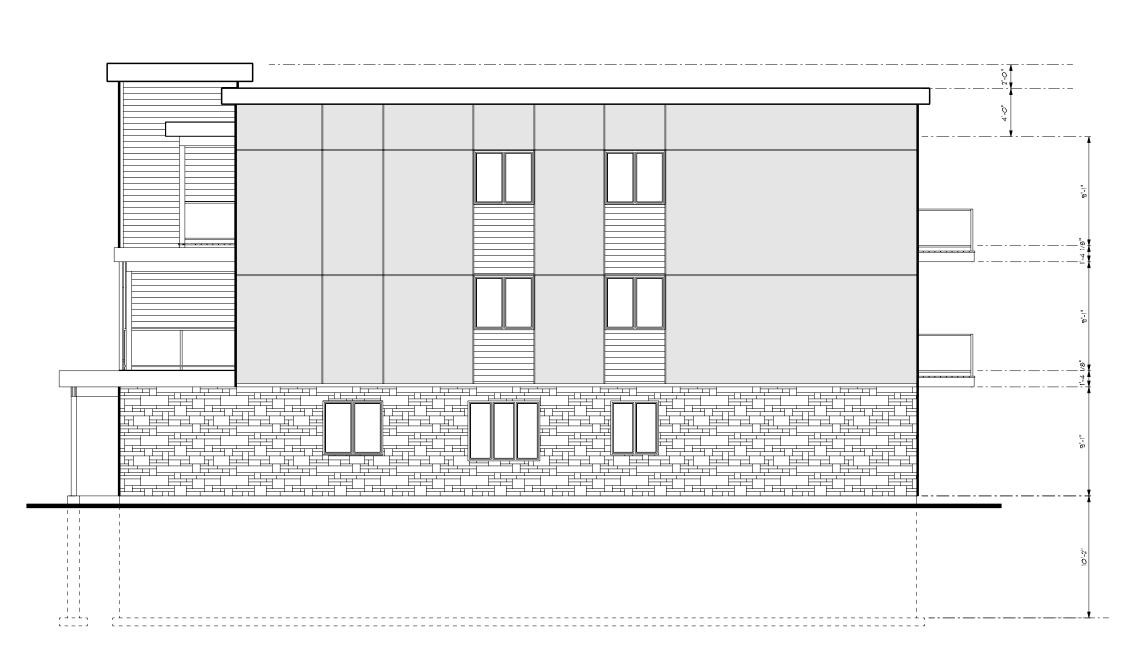
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PROJECT NAME

PROPOSED APARTMENT BUIDLING FOR PEAK PROPERTY DEVELOPMENT

PROJECT NO.	2024-0102	DRAWINGS 1
DRAWN BY	N.LEDUC	3/
VERIFIED BY		/8



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER			
PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION PRODUCTS & MATERIAL SHALL NOT BE ORDERED WITH THESE DRAWINGS			
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 ISSUED FOR PRE-CONSULT
 12/12/2024

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 ISSUED FOR PRELIMINARY
 11/21/2024

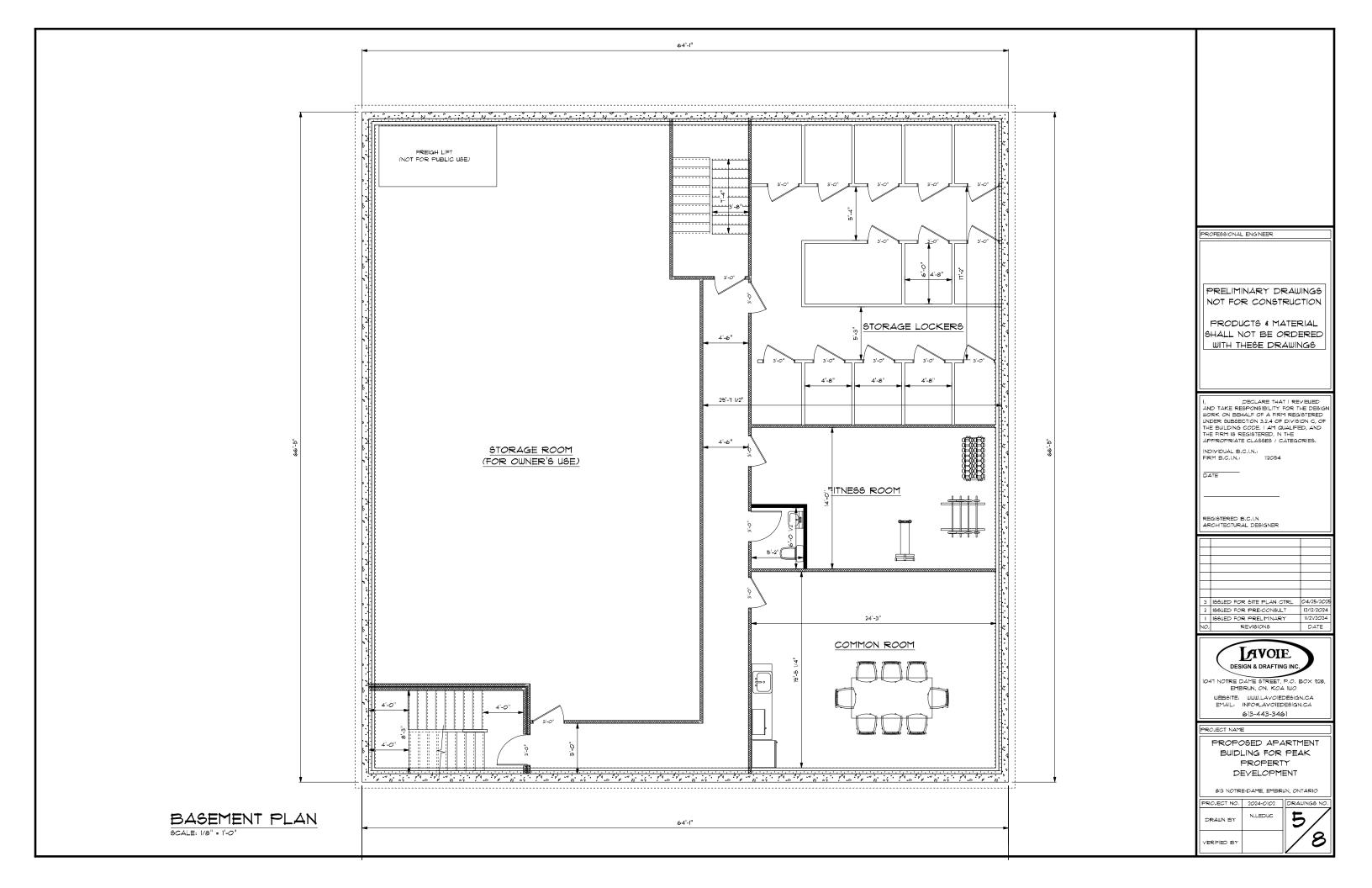
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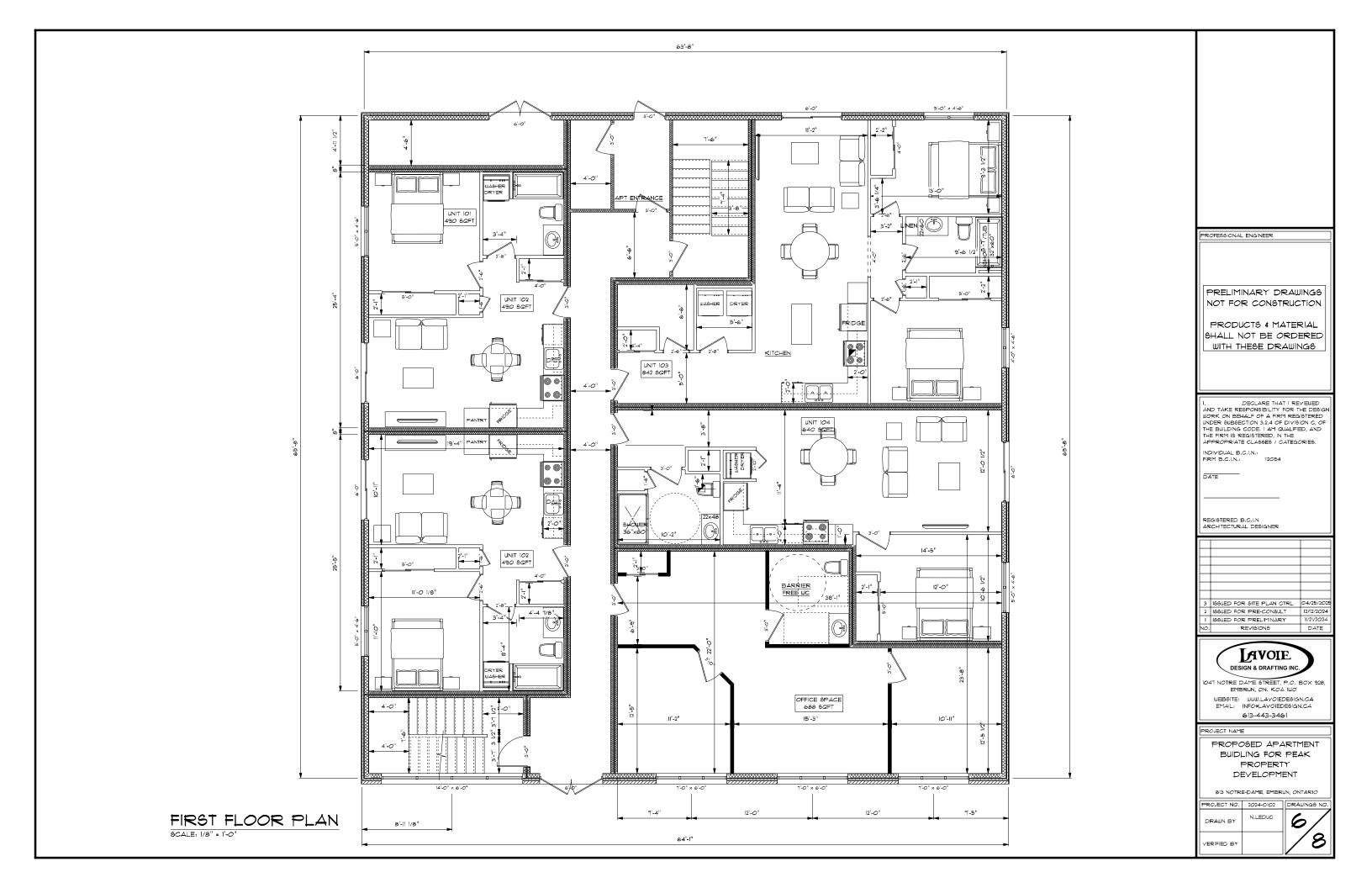
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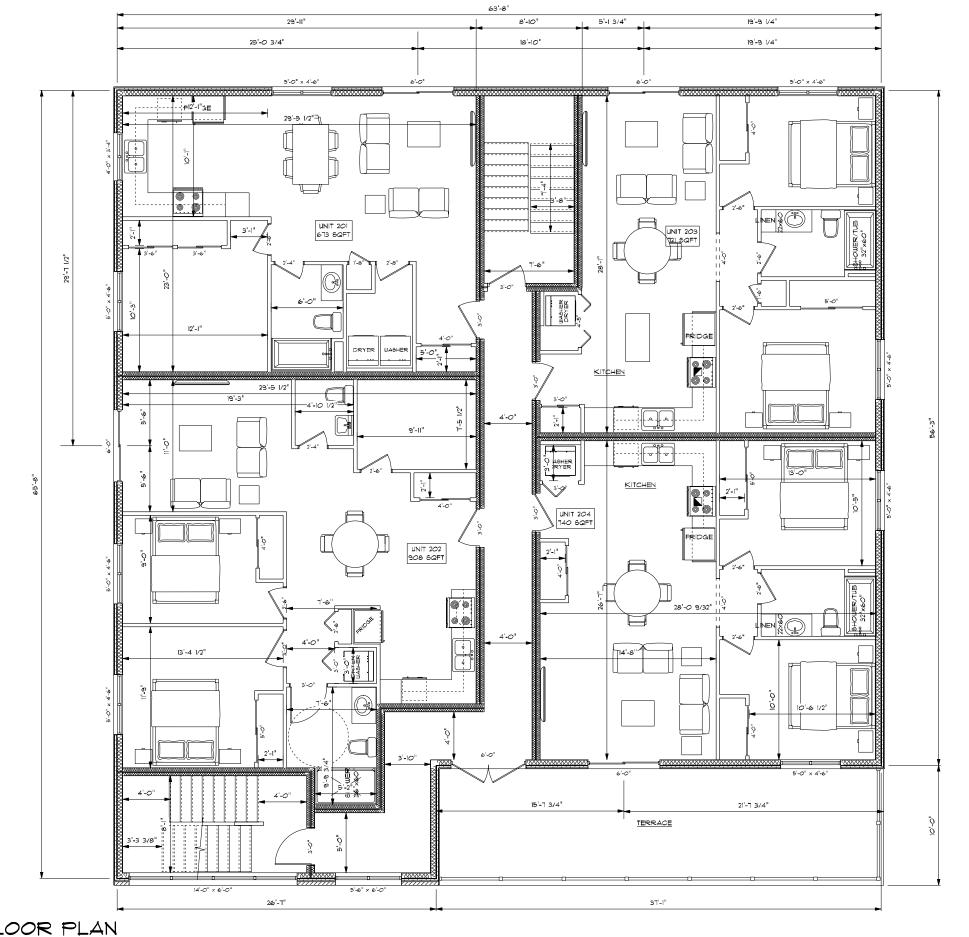
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DRAWN BY	N.LEDUC	4/
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DATE

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PROJECT NAME

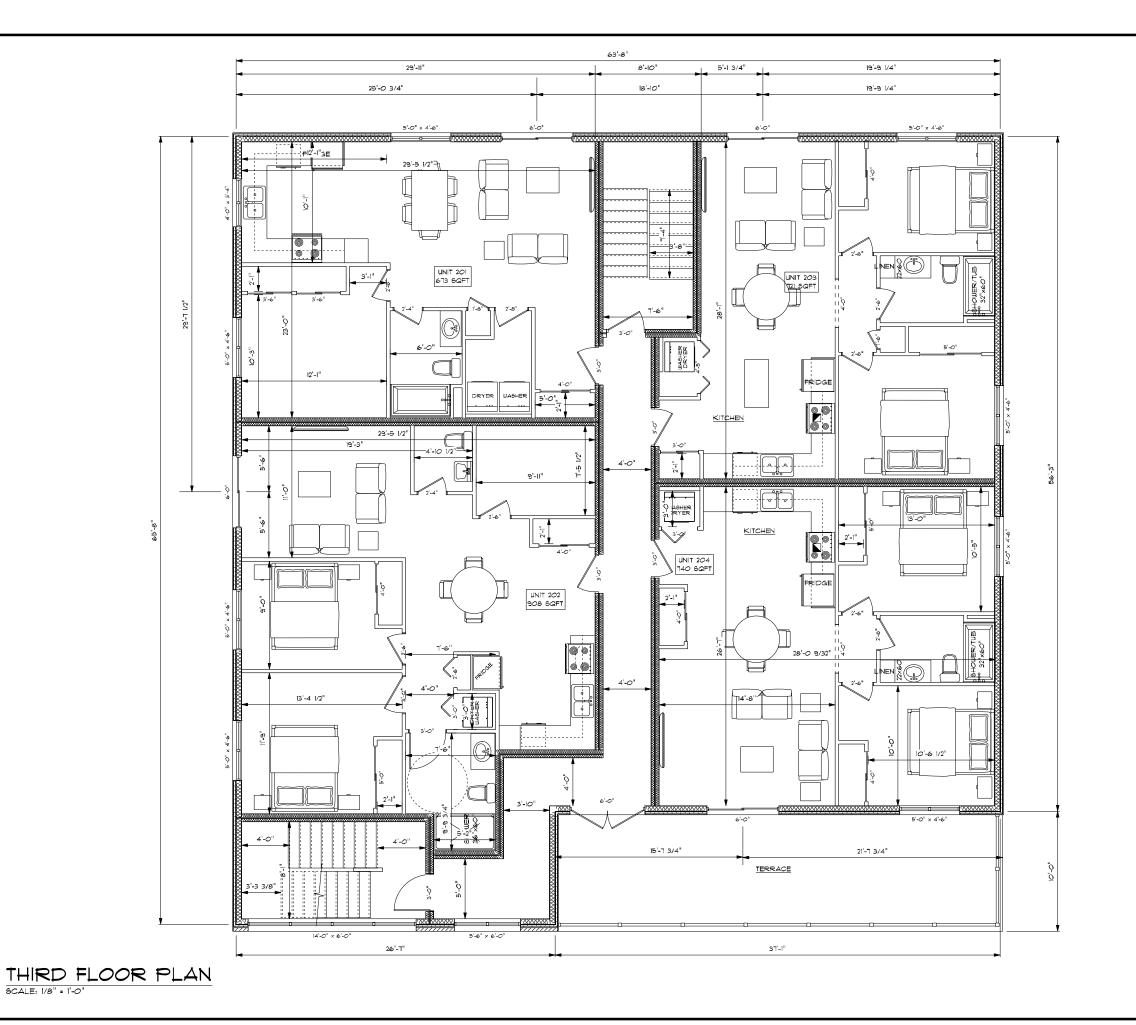
PROPOSED APARTMENT BUIDLING FOR PEAK PROPERTY DEVELOPMENT

813 NOTRE-DAME, EMBRUN, ONTARIO

PROJECT NO.	2024-0102	DRAWINGS NO
DRAWN BY	N.LEDUC	8/
VERIFIED BY		/8

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



PROFESSIONAL ENGINEER

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PROJECT NAME

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VERIFIED BY		/8

EXISITNG CEDAR EDGETO BE REMOVED -NEW OPAQUE FENCE 1.8M HIGH - N-57°45,50", E-30:480-BICYCLE RACK PICNIC AREA 32 M2 SNOW STORAGE AREA LIGH BARRIER FREE -SIGN AS PER 3.4.1.4, SEE NOTE A BFI Post GARBAGE ENCLOSURE 1.525 P9 twsı PAINTED AREA FOR ACCESS PROVIDE SIGNS TO SIDEWALK FREE PARKINGS AS PER SECTION 3.4I.4(II) \$ (III) ASPHALT PARKING 0.969 OFFICE P8 3.048 0.974 7.974 6.00 12 UNIT APARTMENT DWELLING + 1 OFFICE 7,974 SUITE, 3rd FLOOR 3.00 2nd FLOOR N 57"45"50" E 30.480 0.15 SIDEUALK.

813 NOTRE-DAME ST.

SCALE: 1:250

SITE PLAN

PART OF LOT 9
CONCESSION 6
TOWN OF EMBRUN
TOWNSHIP OF RUSSELL
COUNTY OF RUSSELL

SITE LINE AS PER SURVEY FROM ANNIS, O'SULLIVAN, YOLLEBEKK LTD

NO EXCESS DRAINAGE WILL BE DIRECTED TOWARDS THE NEIGHBOURING PROPERTIES DURING AND AFTER CONSTRUCTION

BARRIER-FREE NOTE A

BARRIER-FREE SIGNAGE WILL BE BILINGUAL AS PER TOWNSHIP BY-LAWS (33-2004, 31-2004), HIGHWAY TRAFFIC ACT, AND ZONING BY-LAW

## DATA

PROJECT: PROPOSED APARTMENT BUILDING & OFFICE

ZONING - YC

BUILDING SIZE - 19.5 M imes 20.1 M

BUILDING AREA - 392 M2

<b>A</b> )	LOT AREA (6Q, M) -	1350 SQ.M	
	MIN, LOT AREA REQ'D -	1840 SQ.M	
в)	LOT FRONTAGE (M) -	30 M	
	MIN, LOT FRONTAGE REQ'D -	20 M	
c)	FRONT YARD SETBACK (M) - OFFICE	3 M	
	MIN, FRONT YARD REQ'D -	1 M	
D)	FRONT YARD SETBACK (M) - RES.	6 M	
	MAX, FRONT YARD REQ'D -	6 M	
E)	INTERIOR SIDE YARD SETBACK (M) -	3 M	
	MIN, SIDE YARD REQ'D -	3 M	
F)	INTERIOR SIDE YARD SETBACK (M) -	M F6,F	
	MIN, SIDE YARD REQ'D -	3 M	
	REAR YARD SETBACK (M) -	22.6 M	
G)	MIN, REAR YARD REQ'D -	7.5 M	
H)	DEVELOPEMENT FORM -	N/A	
	22.220, 2.32.0.70,70	1.0.1	
IJ	LANDSCAPED OPEN SPACE (%) -	16 %	
	MIN, LANDSCAPED OPEN SPACE -	30 %	
J)	BUILDING HEIGHT (M) -	10.5 M	
	MAX, BUILDING HEIGHT -	12 M	
<b>K</b> )	AMENITY AREA (SQ. M) -	185 SQ.M	
	AMENITY AREA REQ'D -	160 SQ.M	
	15m2 × Sunits + 4Units × 10m2		
	COMMON/FITNESS AREA; TT,68 SQ2 BICYCLE RACK; 15,84 SQ2		
	TERRACE/BALCONIES 60.29 6Q2		
	PICNIC AREA 32 6Q2		
	TOTAL: 185 SQM		
•			

I8 PARKING \$PACE\$ + 1 BC REQUIRED 3 \$PACE\$ FOR COMMERCIAL (MINIMUM) 12 RE\$DENTIAL PARKING (1 PER UNIT) 3 YI\$ITOR PARKING (0,2 PER DWELLING)

IB PARKING &PACES + I BC PROVIDED I &PACES FOR COMMERCIAL IZ RESIDENTIAL PARKING 2 VISITOR PARKING

SUBJECT



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VERIFIED BY		SP1