

THIS IS BASED ON CONCEPTUAL RENDERERS AND COULD BE DIFFERENT THAN THE ACTUAL FINISHED PLANS



1041 NOTRE DAME STREET, P.O. BOX 928,
EMBRUN, ON. K0A 1W0
WEBSITE: WWW.LAVOIEDESIGN.CA
EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

DRAWINGS INDEX:

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PAGE 5 FOUNDATION PLAN
PAGE 6 MAIN FLOOR PLAN
PAGE 7 2ND FLOOR PLAN
PAGE 8 3RD FLOOR PLAN
PAGE 9 SITE PLAN

PROJECT NUMBER:

DRAWN BY:
NICOLAS LEDUC

VERIFIED BY:
NICOLAS LEDUC

ISSUED FOR BUILDING PERMIT:
MONTH DAY, 2025

PROPOSED APARTMENT BUILDING FOR PEAK PROPERTY DEVELOPMENT





FRONT ELEVATION

SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

PRODUCTS & MATERIAL
SHALL NOT BE ORDERED
WITH THESE DRAWINGS

I, _____, DECLARE THAT I REVIEWED
AND TAKE RESPONSIBILITY FOR THE DESIGN
WORK ON BEHALF OF A FIRM REGISTERED
UNDER SUBSECTION 3.2.4 OF DIVISION C, OF
THE BUILDING CODE, I AM QUALIFIED, AND
THE FIRM IS REGISTERED, IN THE
APPROPRIATE CLASSES / CATEGORIES.

INDIVIDUAL B.C.I.N.:
FIRM B.C.I.N.: 112054

DATE _____

REGISTERED B.C.I.N.
ARCHITECTURAL DESIGNER

3	ISSUED FOR SITE PLAN CTRL.	04/25/2025
2	ISSUED FOR PRE-CONSULT	12/12/2024
1	ISSUED FOR PRELIMINARY	11/21/2024
NO.	REVISIONS	DATE



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PROJECT NAME

PROPOSED APARTMENT
BUILDING FOR PEAK
PROPERTY
DEVELOPMENT

813 NOTRE-DAME, EMBRUN, ONTARIO

PROJECT NO.	2024-0102	DRAWINGS NO.
DRAWN BY	N. LEDUC	1
VERIFIED BY		8



REAR ELEVATION
SCALE: 1/8" = 1'-0"

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FIRM B.C.I.N.: 12054

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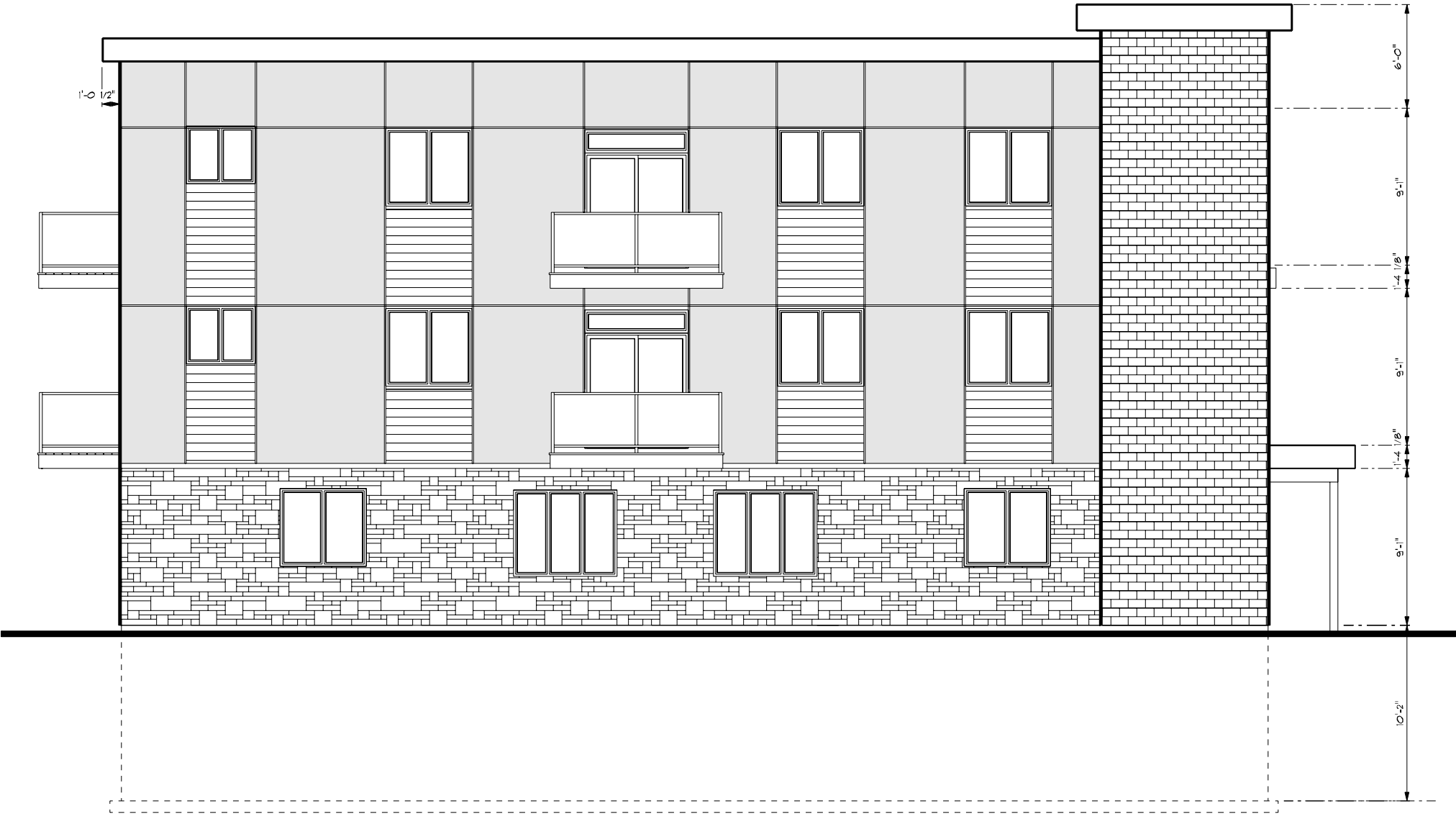
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PROJECT NO.	2024-0102	DRAWINGS NO.
DRAWN BY	N. LEDUC	2 8
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LEFT ELEVATION
SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER

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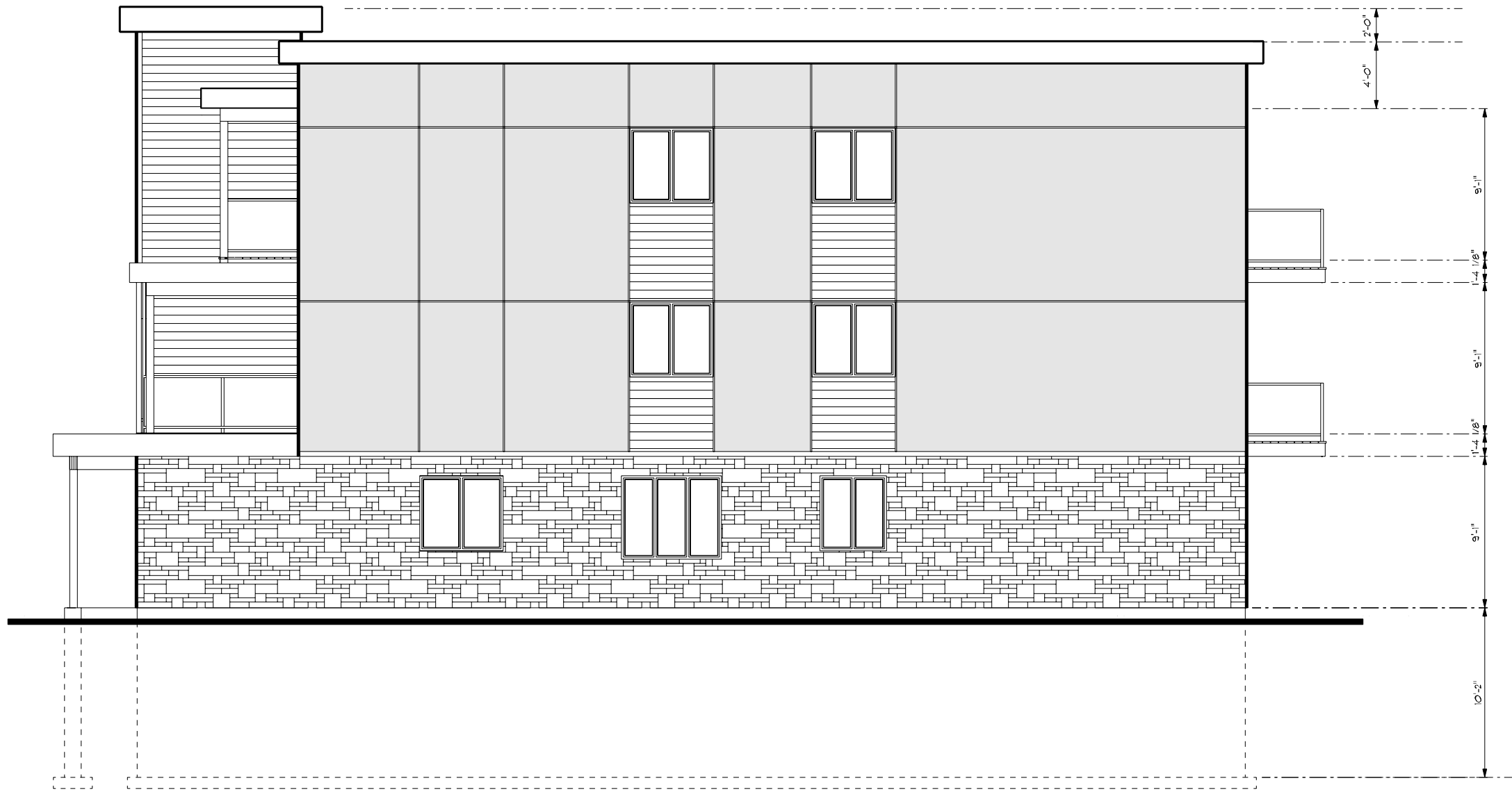
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PROJECT NO.	2024-0102	DRAWINGS NO.
DRAWN BY	N.LEDUC	3/8
VERIFIED BY		



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

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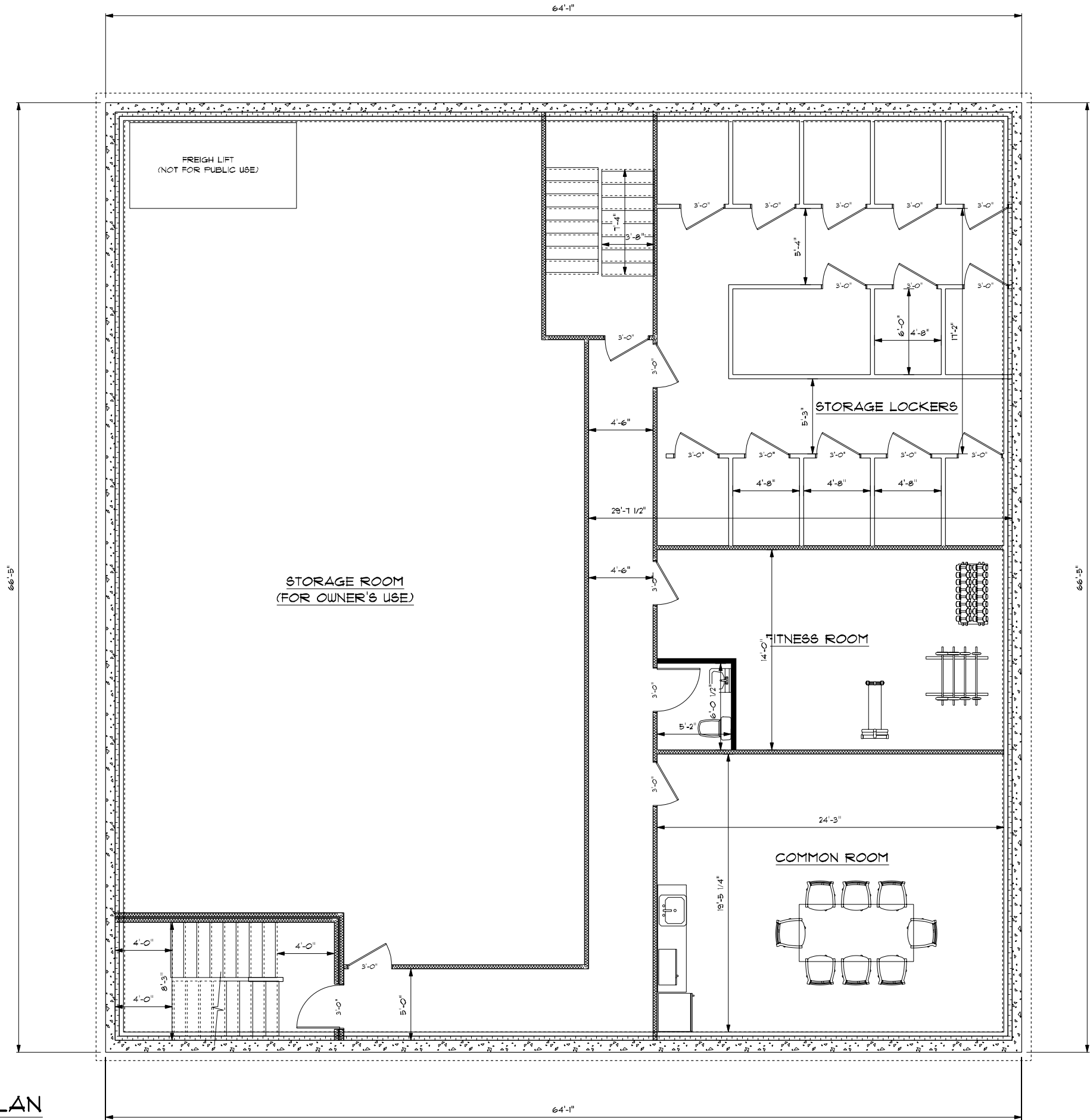
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PROJECT NO.	2024-0102	DRAWINGS NO.
DRAWN BY	N. LEDUC	4
VERIFIED BY		8



BASEMENT PLAN
SCALE: 1/8" = 1'-0"

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PROJECT NO.	2024-0102	DRAWINGS NO.
DRAWN BY	N.LEDUC	5 8
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FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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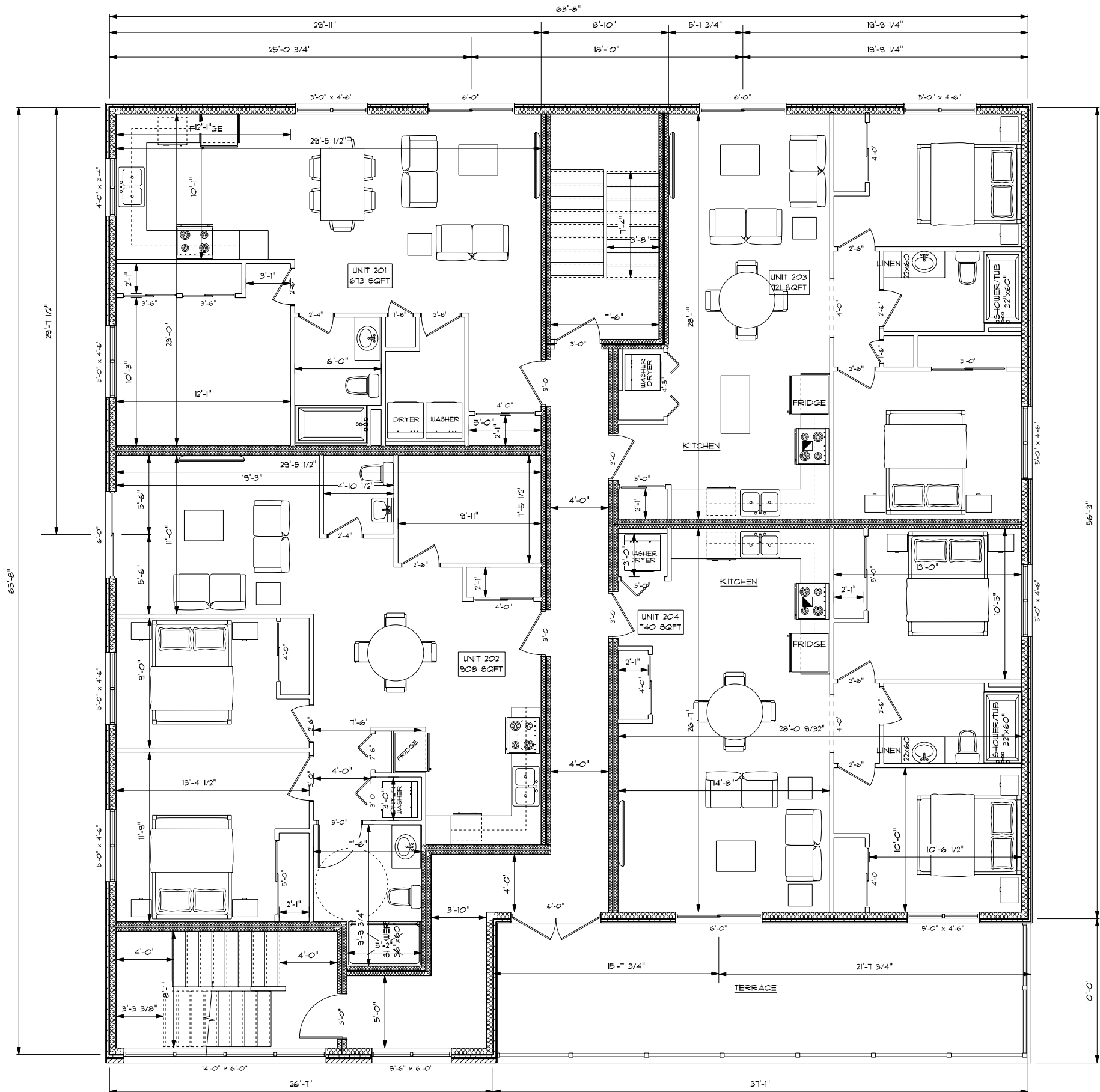
813 NOTRE-DAME, EMBRUN, ONTARIO

PROJECT NO. 2024-0102 DRAWINGS NO.

DRAWN BY N. LEDUC

VERIFIED BY

6
8



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROFESSIONAL ENGINEER

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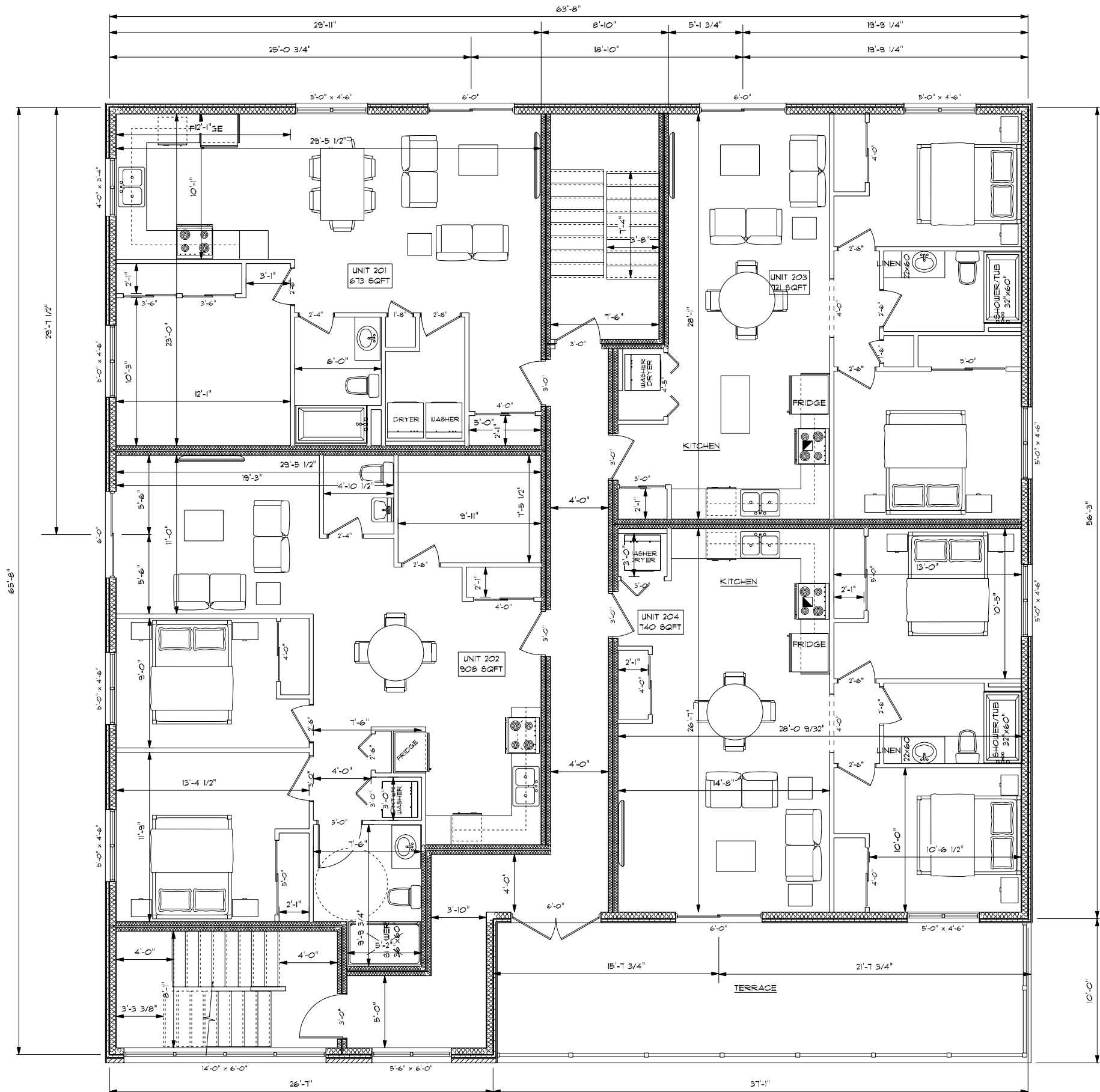
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813 NOTRE-DAME, EMBRUN, ONTARIO

PROJECT NO.	2024-0102	DRAWINGS NO.
DRAWN BY	N. LEDUC	8
VERIFIED BY		8



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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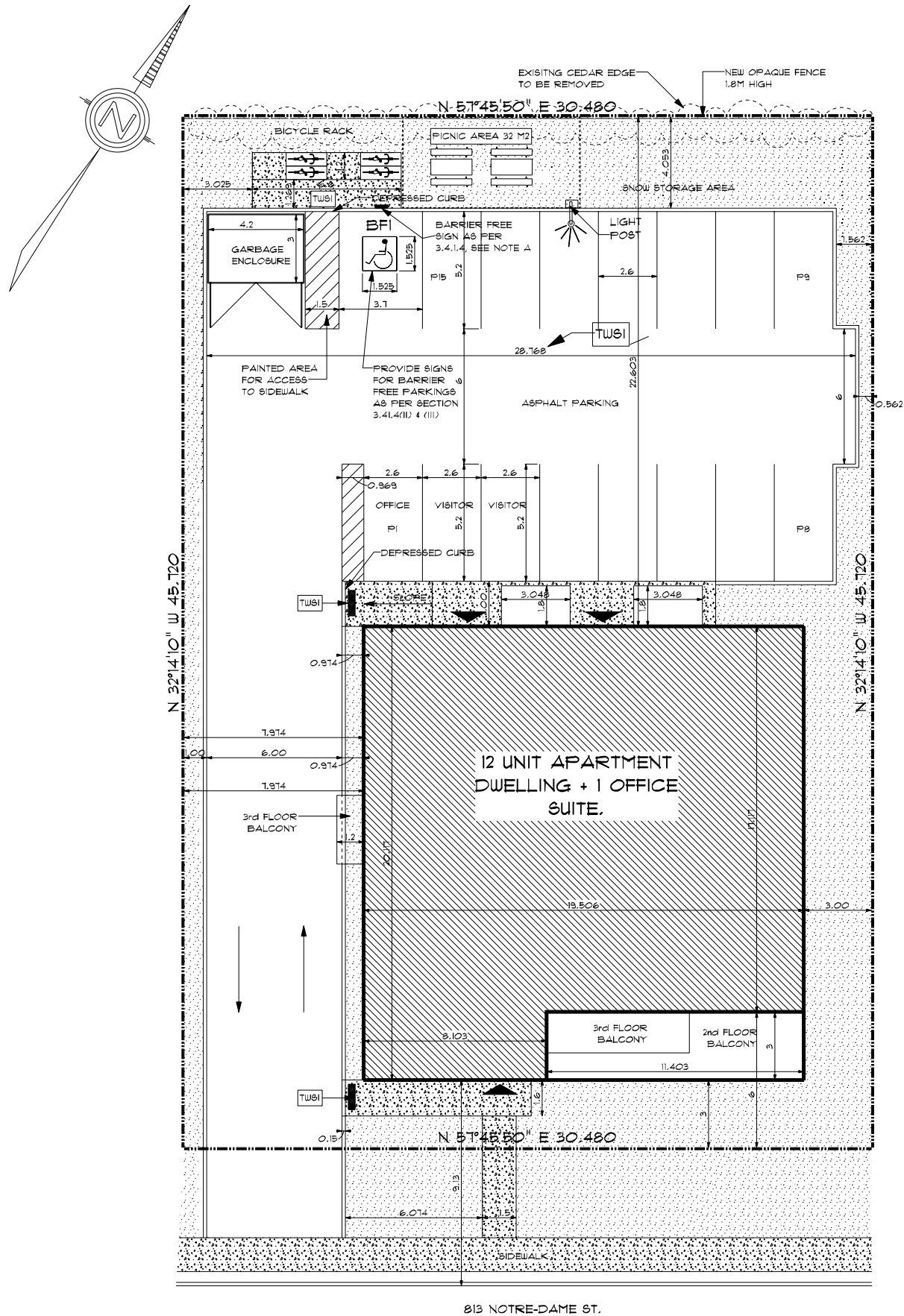
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DRAWN BY	N.LEDUC	8
VERIFIED BY		8



SITE PLAN
SCALE: 1:250

PART OF LOT 9
CONCESSION 6
TOWN OF EMBRUN
TOWNSHIP OF RUSSELL
COUNTY OF RUSSELL

SITE LINE AS PER
SURVEY FROM
ANNIS, O'SULLIVAN, VOLLEBEKK LTD

NO EXCESS DRAINAGE WILL BE
DIRECTED TOWARDS THE
NEIGHBOURING PROPERTIES
DURING AND AFTER
CONSTRUCTION

BARRIER-FREE NOTE A

BARRIER-FREE SIGNAGE WILL BE
BILINGUAL AS PER TOWNSHIP
BY-LAWS (33-2004, 31-2004), HIGHWAY
TRAFFIC ACT, AND ZONING BY-LAW

DATA

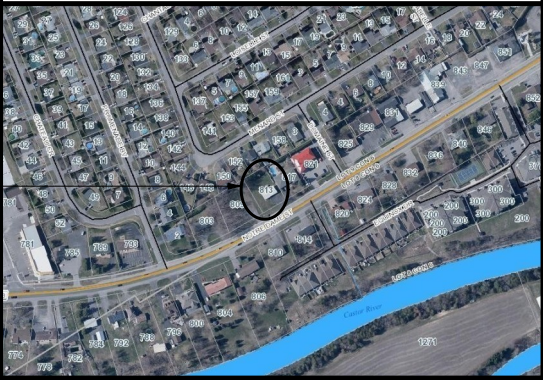
PROJECT : PROPOSED APARTMENT BUILDING & OFFICE
ZONING - YC
BUILDING SIZE - 19.5 M X 20.1 M
BUILDING AREA - 392 M²

A)	LOT AREA (SQ. M) - MIN. LOT AREA REQ'D -	1350 SQ.M 1840 SQ.M
B)	LOT FRONTAGE (M) - MIN. LOT FRONTAGE REQ'D -	30 M 20 M
C)	FRONT YARD SETBACK (M) - OFFICE MIN. FRONT YARD REQ'D -	3 M 1 M
D)	FRONT YARD SETBACK (M) - RES. MAX. FRONT YARD REQ'D -	6 M 6 M
E)	INTERIOR SIDE YARD SETBACK (M) - MIN. SIDE YARD REQ'D -	3 M 3 M
F)	INTERIOR SIDE YARD SETBACK (M) - MIN. SIDE YARD REQ'D -	1.91 M 3 M
G)	REAR YARD SETBACK (M) - MIN. REAR YARD REQ'D -	22.6 M 1.5 M
H)	DEVELOPEMENT FORM -	N/A
I)	LANDSCAPED OPEN SPACE (%) - MIN. LANDSCAPED OPEN SPACE -	16 % 30 %
J)	BUILDING HEIGHT (M) - MAX. BUILDING HEIGHT -	10.5 M 12 M
K)	AMENITY AREA (SQ. M) - AMENITY AREA REQ'D - 15m ² X 8units + 4units X 10m ² COMMON/FITNESS AREA: 11.68 SQ2 BICYCLE RACK: 15.84 SQ2 TERRACE/BALCONIES 60.29 SQ2 PICNIC AREA 32 SQ2 TOTAL: 185 SQM	185 SQ.M 160 SQ.M

18 PARKING SPACES + 1 BC REQUIRED
3 SPACES FOR COMMERCIAL (MINIMUM)
12 RESIDENTIAL PARKING (1 PER UNIT)
3 VISITOR PARKING (0.2 PER DWELLING)

15 PARKING SPACES + 1 BC PROVIDED
1 SPACES FOR COMMERCIAL
12 RESIDENTIAL PARKING
2 VISITOR PARKING

KEY PLAN



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PROJECT NO.	2024-0102	DRAWINGS NO.
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VERIFIED BY		SP1