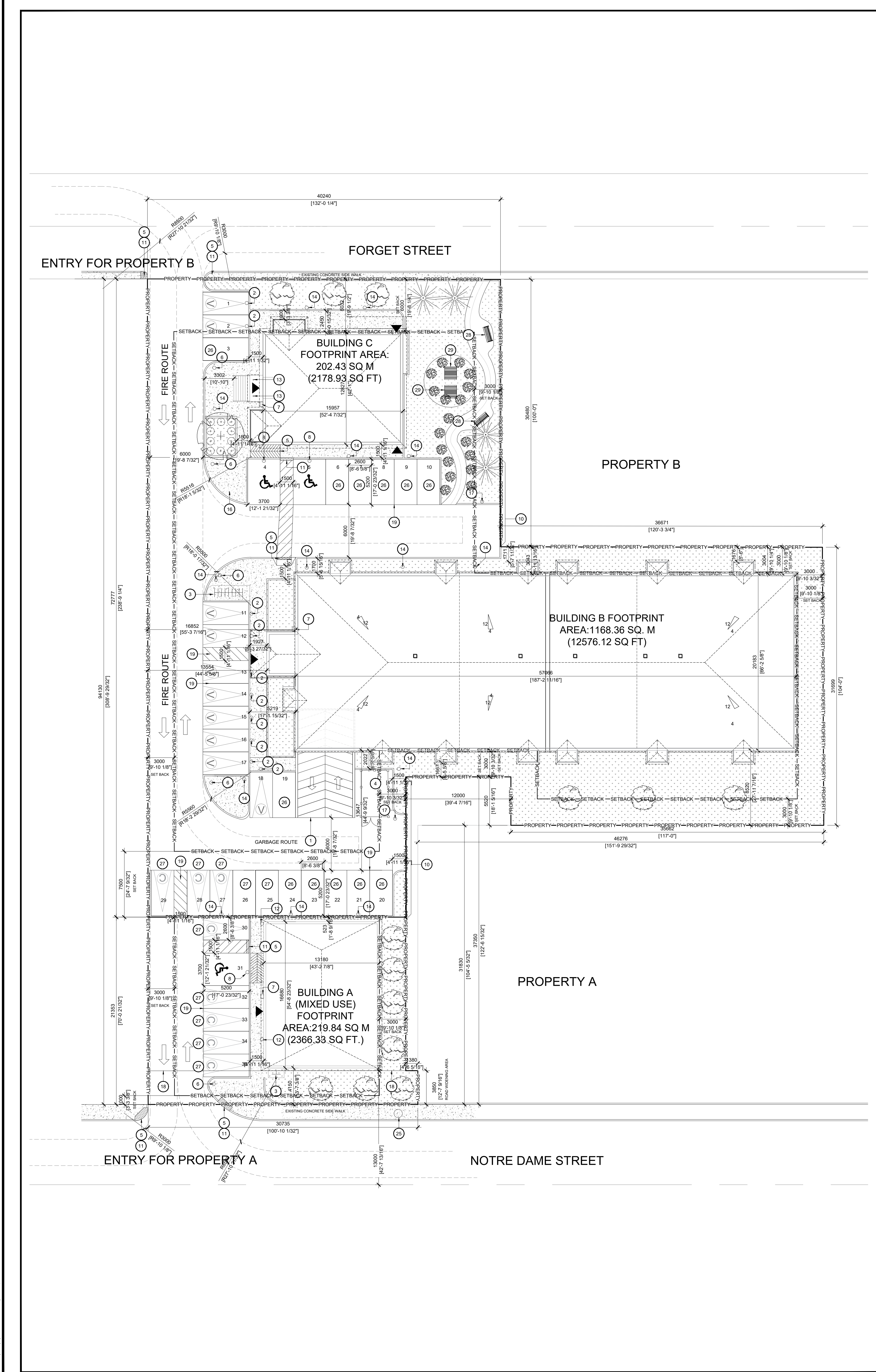
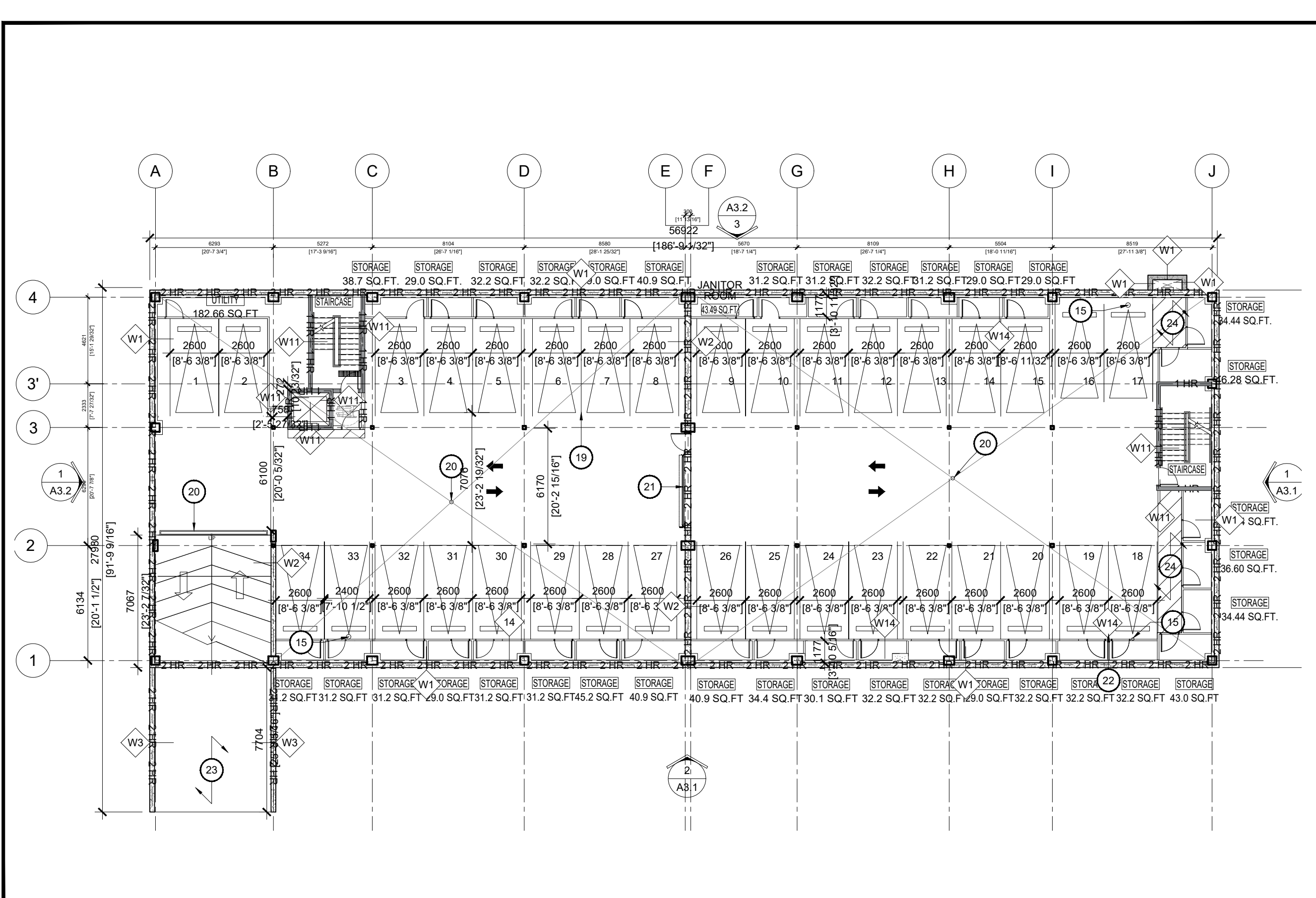
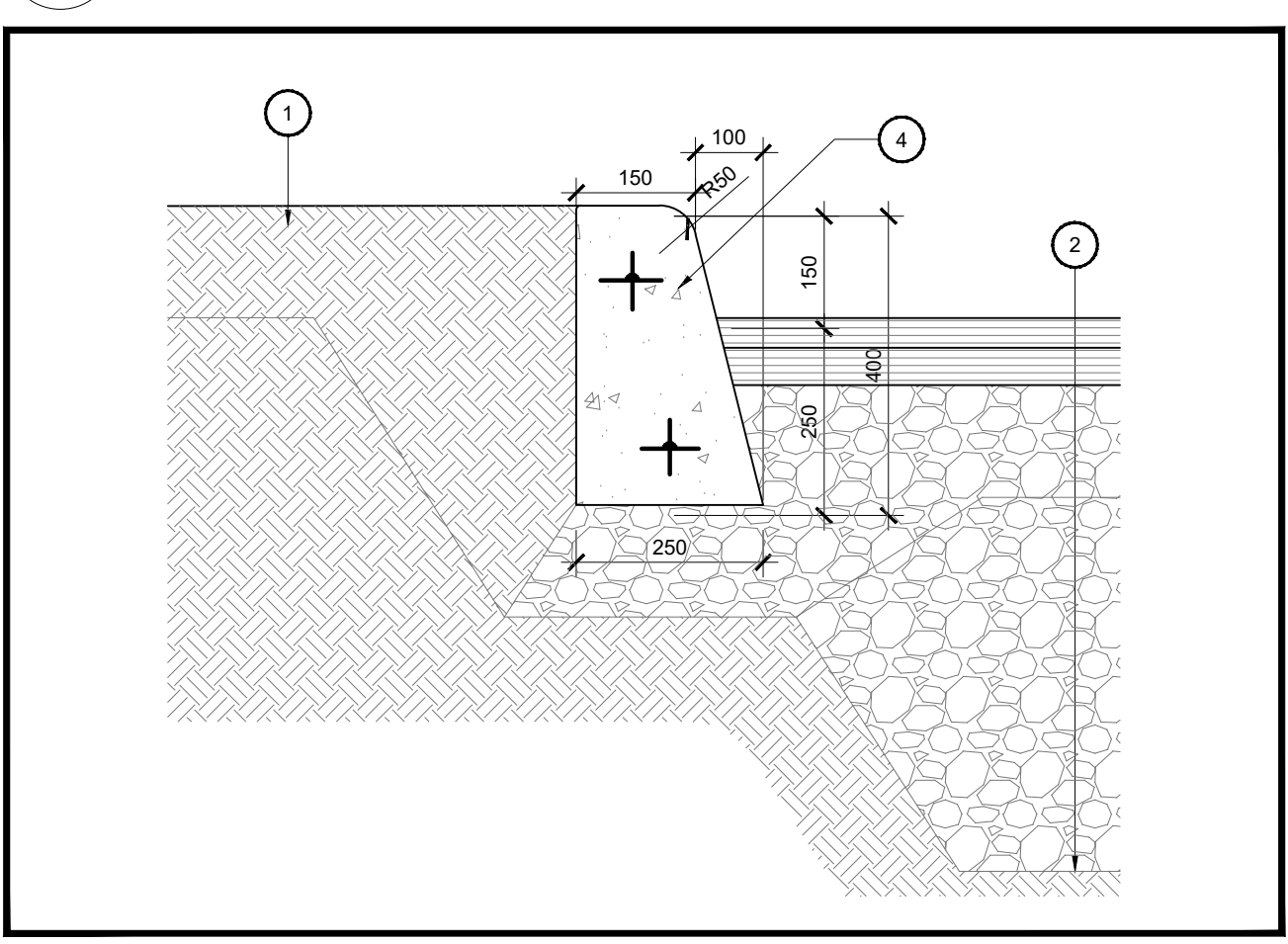




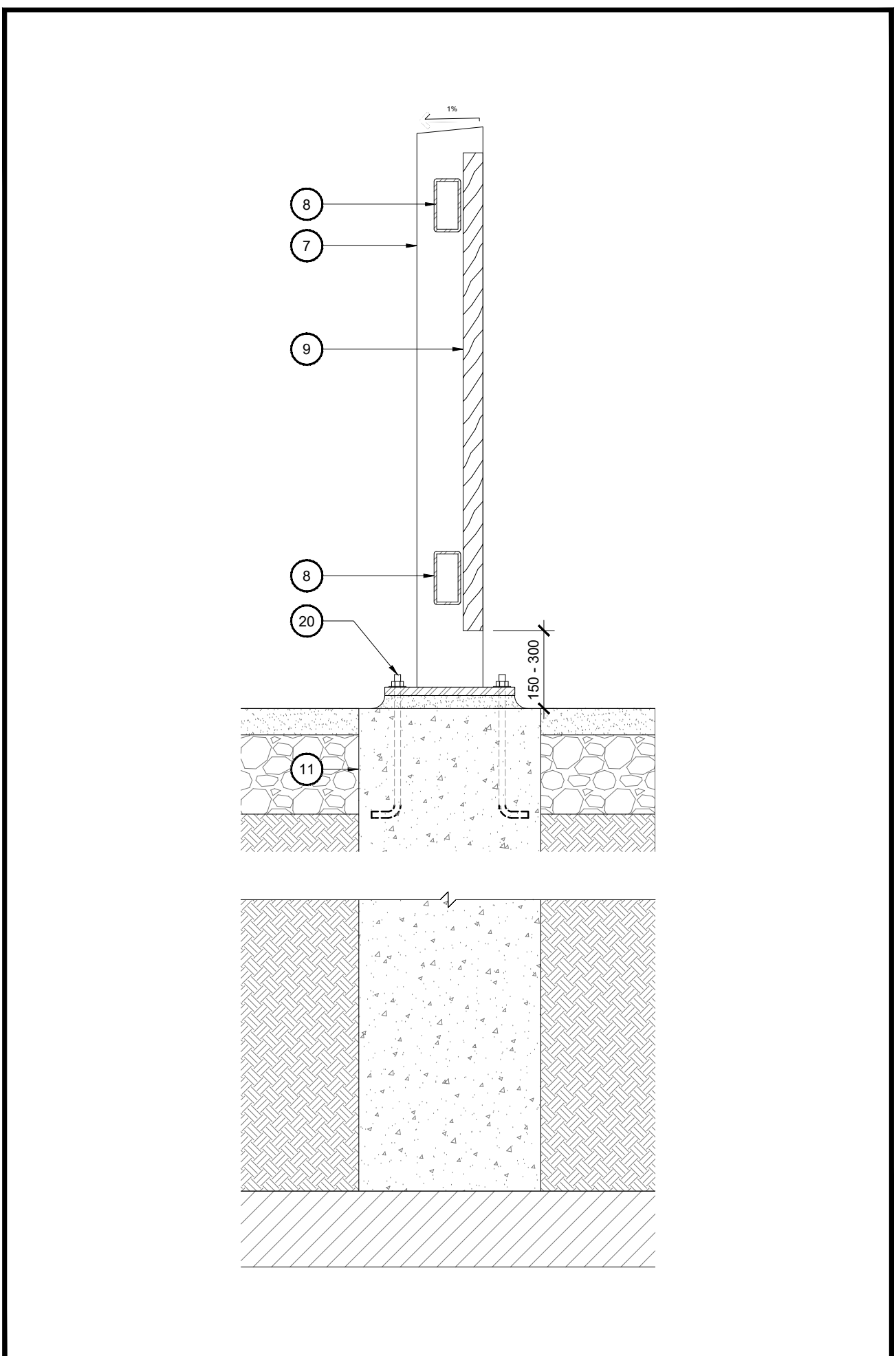
1 Site Plan
A0 Scale = 1:200



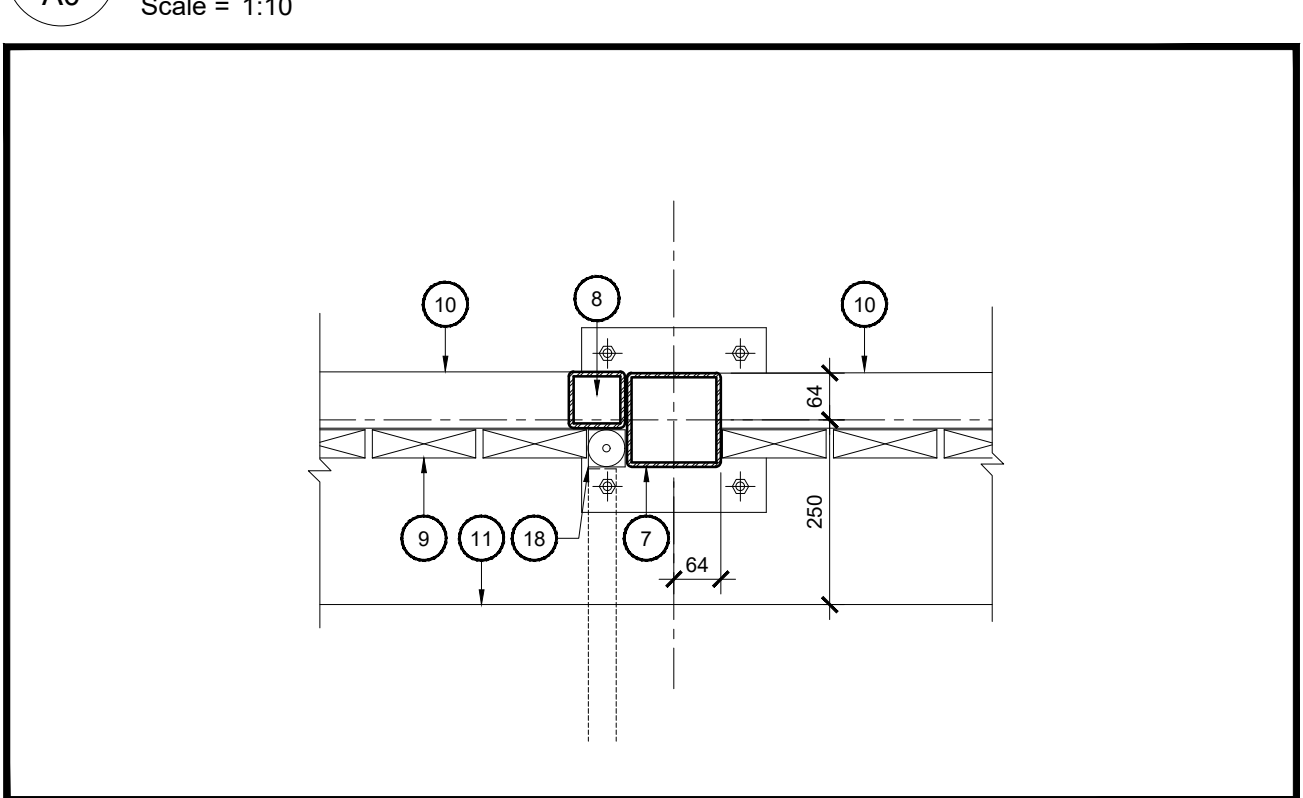
2 Basement Plan of Building B (Indoor Parking)
A0 Scale = 1:200



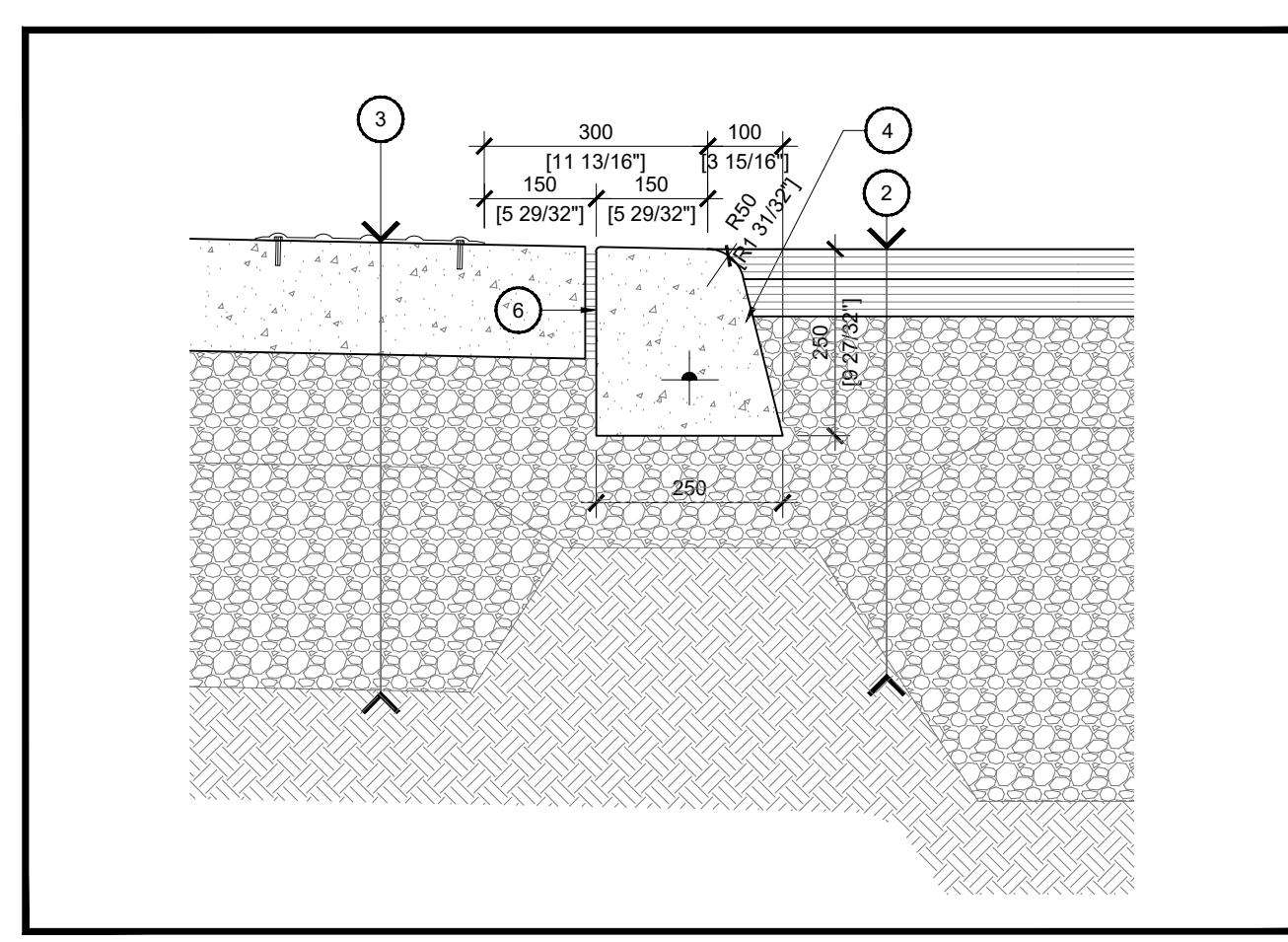
3 Sod / Curb - Detail
A0 Scale = 1:10



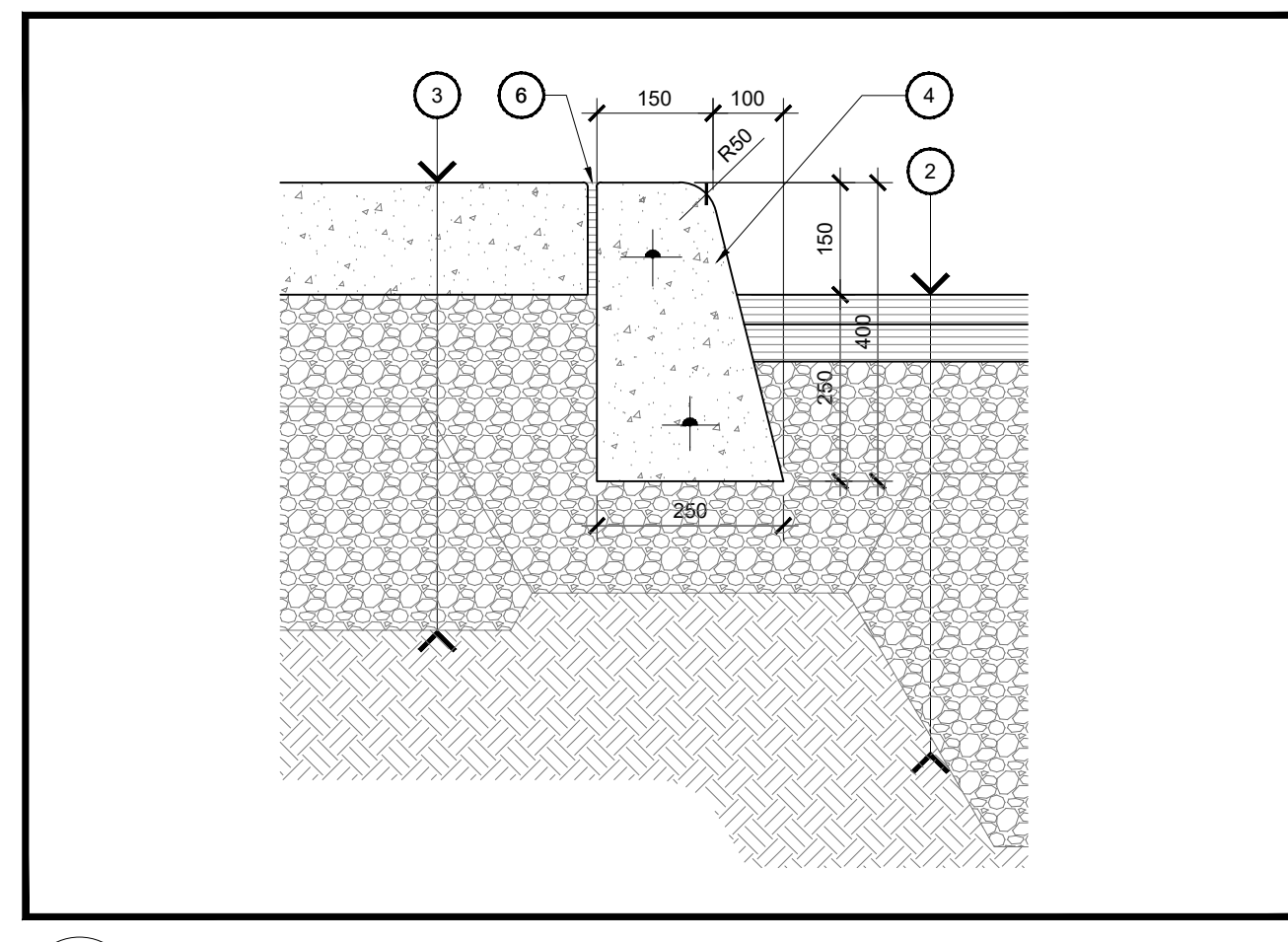
8 Enclosure Screen Detail
A0 Scale = 1:10



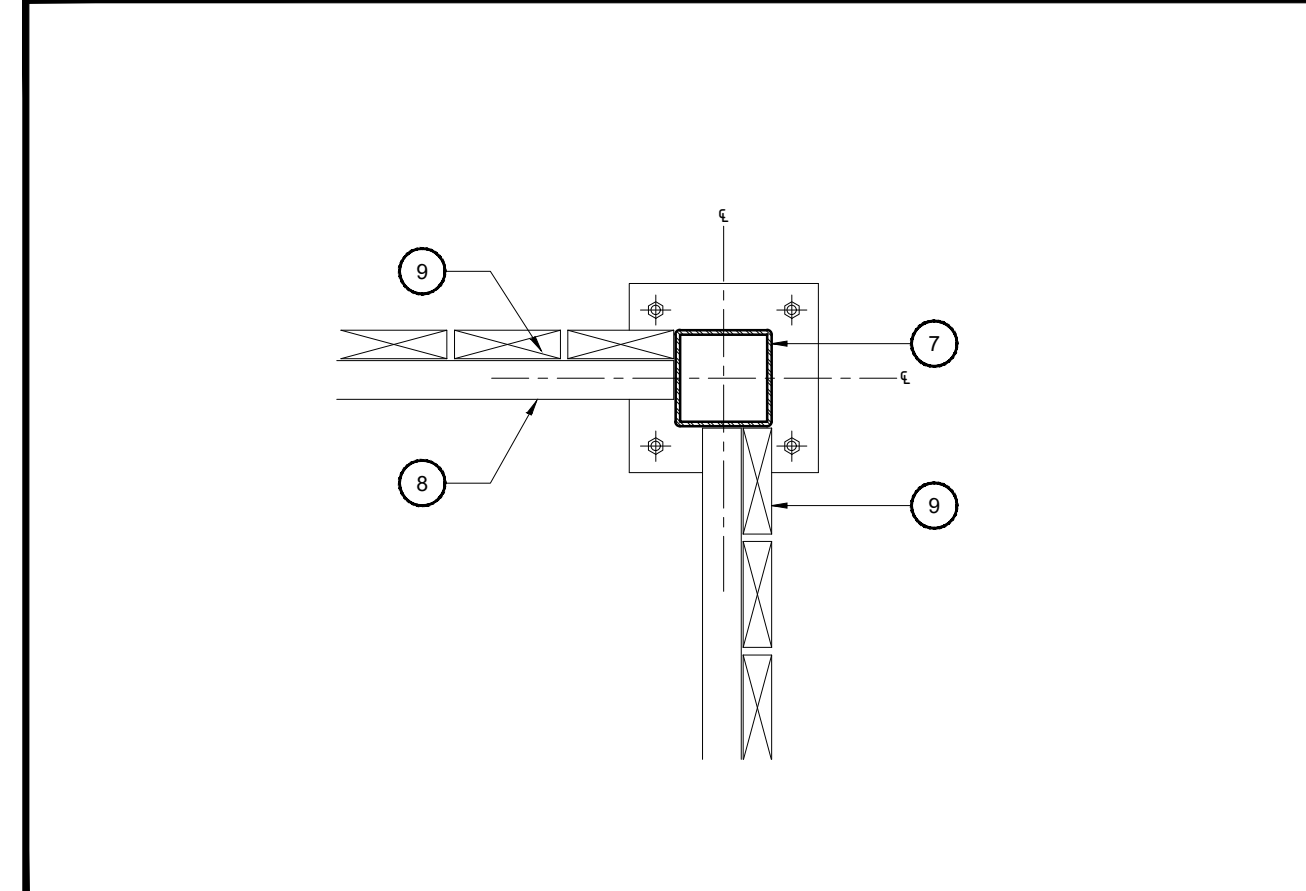
7 Enclosure Latch
A0 Scale = 1:10



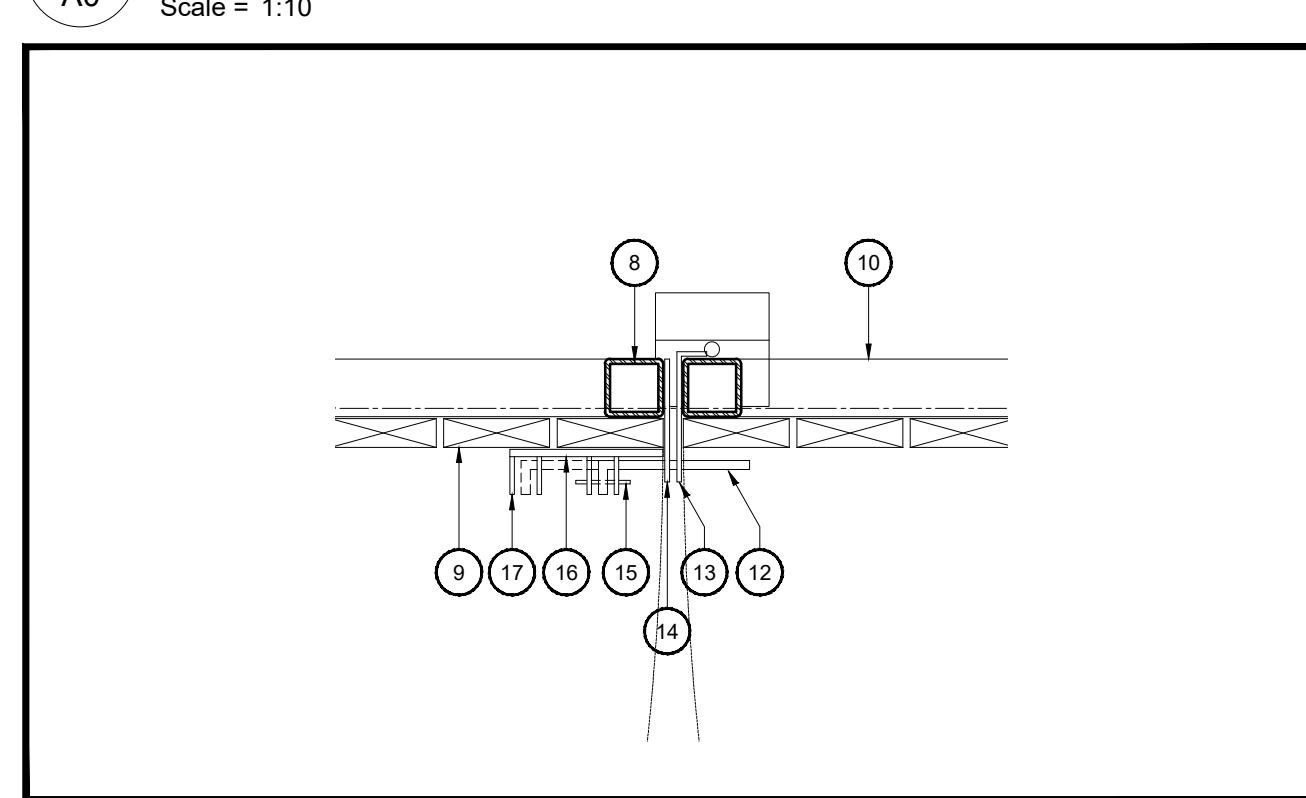
4 Depressed Curb - Detail
A0 Scale = 1:10



9 Walk / Curb / Asphalt - Detail
A0 Scale = 1:10



6 Enclosure Corner Detail
A0 Scale = 1:10



5 Enclosure Gate Hinges
A0 Scale = 1:10

NOTES FOR DRAWING 1/A0 AND 2/A0:

- GARAGE ENTRANCE.
- VISITOR PARKING SIGN.
- BIKE RACK SECURELY ANCHORED.
- FENCED-IN GARAGE ENCLOSURE.
- DEPRESSED CURB.
- FIRE ROUTE SIGN.
- FIRE DEPARTMENT LOCK BOX TO BE INSIDE IN MAIN ENTRANCE.
- BARRIER FREE PARKING SIGNAGE.
- CANOPY ABOVE.
- FENCE 1.8 M HIGH.
- TWO.
- EXTERIOR LIGHTING ON BUILDING WITH CUT OFF.
- EXTERIOR LIGHTING UNDER CANOPY.
- EXTERIOR LIGHTING WITH CUT OFF.
- SIGN RESERVES SMALL VEHICLES.
- DEPRESSED SIDE WALK.
- NO PARKING SIGN.
- FUTURE ROAD WIDENING AREA.
- PAINTED PARKING LINES.
- GRAN. SLOPE CONCRETE TOWARD DRAIN.
- CHANELLING DRAINAGE.
- OVER HEAD DOOR.
- PROVIDE CONCRETE RAMP.
- CONCRETE SCOTCHURE. REFER TO STRUCTURAL.
- FIRE HYDRANT.
- RESIDENTIAL PARKING SPACE FOR PROPERTY B.
- COMMERCIAL AND RESIDENTIAL PARKING SPACE FOR PROPERTY A.
- BENCH.
- PICNIC TABLE.

LEGEND FOR DRAWING A0:

- PROPERTY LINE
- SET BACK
- DRAWING NOTE ANNOTATION
- BUILDING ENTRANCE
- MAPLE TREE
- SRUB
- SOD
- PARKING SPACE (V FOR VISITOR)
- COMMERCIAL PARKING SPACE

PROJECT INFORMATION - PROPERTY A	
ZONING BY-LAW 2024-45	VC - VILLAGE CORE
BUILDING TYPE	MIXED USE (COMMERCIAL + RESIDENTIAL)
PROPERTY A AREA	632.31 SQ. M
LANDSCAPE AREA REQUIRED	10% (63.22 SQ. M)
LANDSCAPE AREA PROPOSED	20.5% (130.10 SQ. M)
AMENITY AREA REQUIRED	30 SQ. M
AMENITY AREA PROPOSED	31.85 SQ. M
PROJECT STATISTICS	
REQUIRED	PROVIDE
BUILDING HEIGHT	20 M (MAX.)
FRONT YARD SETBACK	1M
REAR YARD SETBACK	7.5M (MIN.)
INTERIOR YARD SETBACK	3M (MIN.)
UNIT STATISTICS PROPERTY A	
BUILDING - A	RESIDENTIAL - SECOND FLOOR
BUILDING - B	COMMERCIAL - FIRST FLOOR
TOTAL GROSS FLOOR AREA	411.48 SQ. M (4429.13 SQ. FT.)

PROJECT INFORMATION - PROPERTY B	
ZONING BY-LAW 2024-45	VC - VILLAGE CORE
BUILDING TYPE	RESIDENTIAL
PROPERTY B AREA	3912.71 SQ. M
LANDSCAPE AREA REQUIRED	30% (1173.82 SQ. M)
LANDSCAPE AREA PROPOSED	25 % (978.47 SQ. M)
AMENITY AREA REQUIRED	15 SQ. M X 8 = 120 + 1052 M X 41 = 410 SQ. M
AMENITY AREA PROPOSED	532.1 SQ. M
PROJECT STATISTICS	
REQUIRED	PROVIDE
BUILDING HEIGHT	12M (MAX.)
FRONT YARD SETBACK	6M
REAR YARD SETBACK	7.5M (MIN.)
INTERIOR YARD SETBACK	3M (MIN.)
RESIDENTIAL UNIT PROPERTY B	
BUILDING-B	40 (24-1 BEDROOM UNITS, 16-2 BEDROOM UNITS)
BUILDING-C	6 (6-2 BEDROOM UNITS)
TOTAL	46

GROSS FLOOR AREA- BUILDING B	
BELOW GRADE	1084.01 SQ. M (11668.18 SQ. FT.)
GROUND FLOOR	1084.01 SQ. M (11668.18 SQ. FT.)
SECOND FLOOR	1114.93 SQ. M (12001.0 SQ. FT.)
THIRD FLOOR	1114.93 SQ. M (12001.0 SQ. FT.)
TOTAL GROSS FLOOR AREA	4397.88 SQ. M (47338.38 SQ. FT.)
UNIT STATISTICS- BUILDING B	
1 BEDROOM UNIT	24
2 BEDROOM UNIT	13
2 BEDROOM UNIT (ACCESSIBLE)	3
TOTAL	40
GROSS FLOOR AREA- BUILDING C	
BELOW GRADE	188.48 SQ. M (2028.78 SQ. FT.)
GROUND FLOOR	188.48 SQ. M (2028.78 SQ. FT.)
SECOND FLOOR	188.48 SQ. M (2028.78 SQ. FT.)
TOTAL GROSS FLOOR AREA	565.44 SQ. M (6086.34 SQ. FT.)
UNIT STATISTICS- BUILDING C	
2 BEDROOM UNIT	6
TOTAL	6

PARKING REQUIREMENT PROPERTY A AND B				
	B		A	
	REQUIRED	PROVIDE	REQUIRED	PROVIDE
RESIDENTS (1 /UNIT)	46 (1 x 46 UNITS)	46/34 UNDERGROUND PARKING IN BUILDING B)	2 (1 x 2 UNITS)	2
BARRIER FREE PARKING	2	2	1	1
VISITOR PARKING SPACE (0.2 /UNIT)	10	10	0	0
BUILDING A - COMMERCIAL A-265.74 SQ.M (OFFICE-4100 SQ.M GFA)	0	0	8	8
TOTAL	58	58	11	11
TOTAL CAR PARKING REQUIRED	69			
TOTAL CAR PARKING PROVIDED	69 (35 SURFACE PARKING AND 34 UNDERGROUND PARKING IN BUILDING B)			
BICYCLE PARKING	1 SPACE FOR EVERY 4 DWELLING UNITS REQUIRED: 12	15	1 SPACE FOR EVERY 4 DWELLING UNITS REQUIRED: 1	2

OLICO BUILDERS
BUILDING COMMITMENT

CONSTRUCTION NORTH TRUE NORTH

PROJECT NAME: 1001 Notre Dame St.

Russell, ON

DRAWING TITLE: Site Plan Basement Plan Site Details

JOB No: 838-24 N° DE PROJET: MAY 2025 DATE: MAY 2025

SCALE: As Noted ECHELLE: PRINTING SCALE/ ECHELLE D'IMPRESSION: 1:200

CONCEPTION BY: SG CONÇU PAR: SB

DRAWN BY: SB DÉSSINÉ PAR: SB

CHECKED BY: SG VÉRIFIÉ PAR: SB

ARCHITECT'S STAMP: BRYDEN GIBSON ARCHITECTS INCORPORATED

DRAWING No: A1.2 DESSIN N°: 7