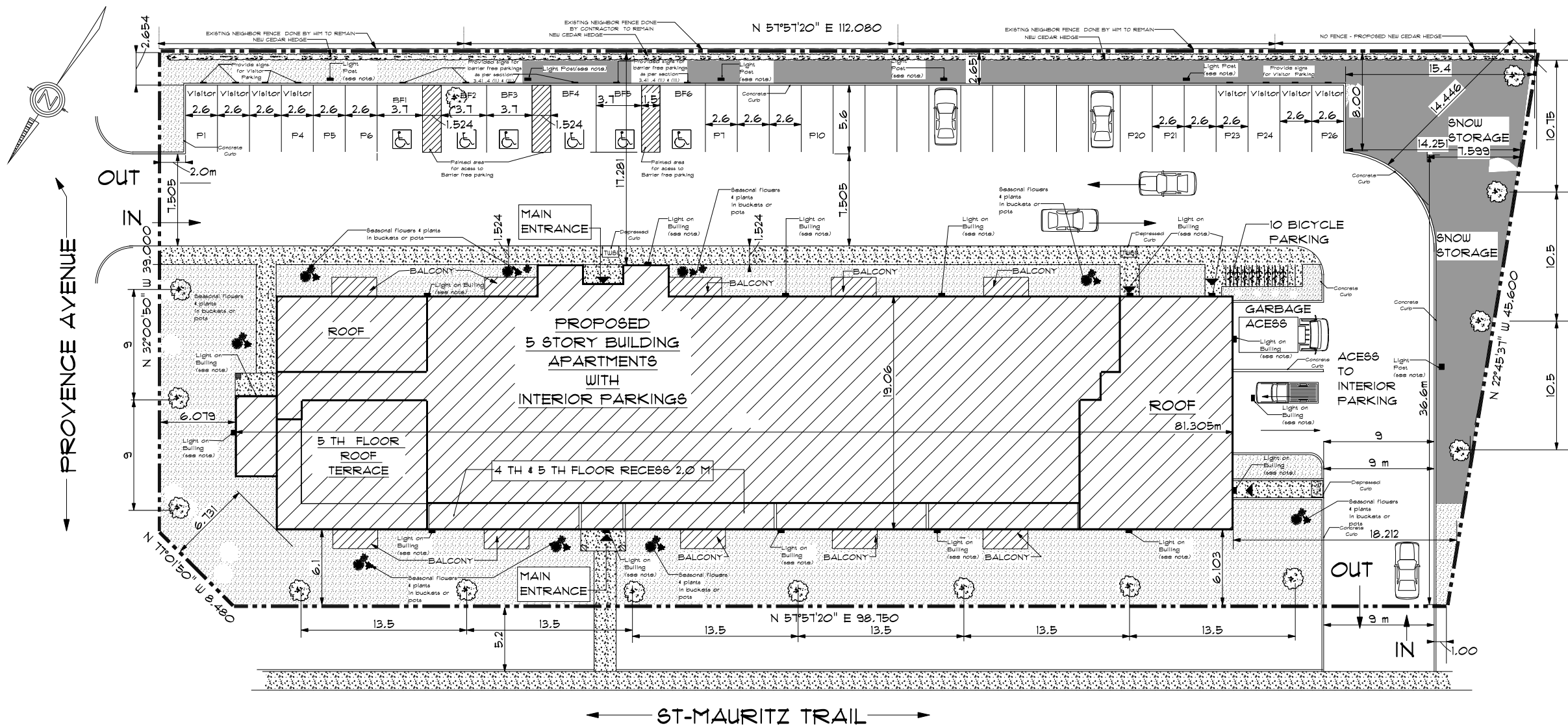




SITE PLAN

SCALE: 1:400

TOWN OF EMBRUN
TOWNSHIP PRESCOTT & RUSSELL
COUNTY RUSSELL

SITE LINE AS PER
SURVEY PROVIDED BY CLIENT

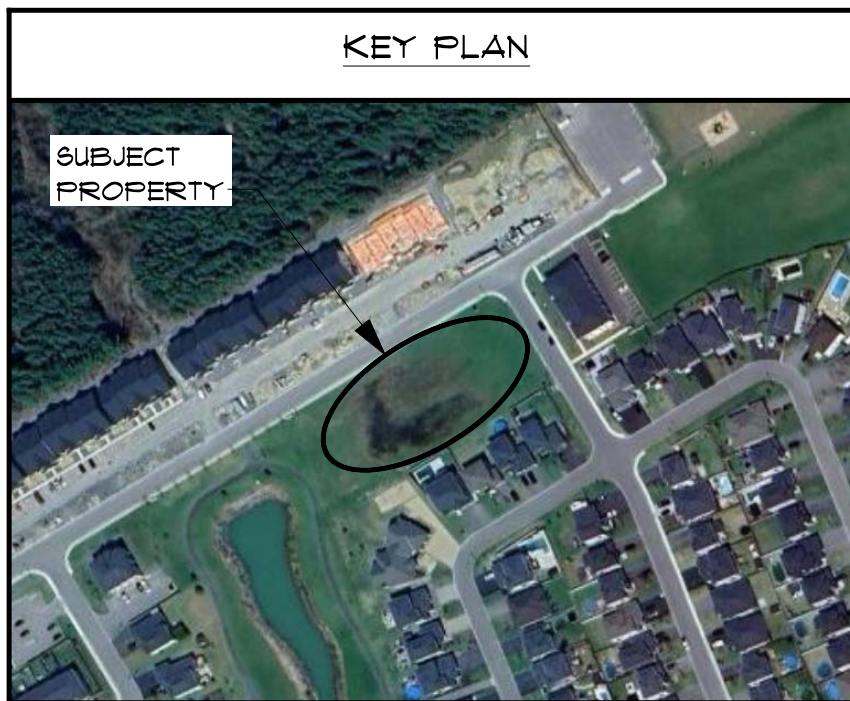
CHILDREN'S PLAY AREA	
NOT PROVIDED-See Note	
Children Play area not provided because the building will be for a population of 55 years old and older	
NUMBER OF VISITOR PARKING REQ'D -	0.2 Parking x 40 = 8 Parkings
NUMBER OF VISITOR PARKING	8 exterior parking
NUMBER OF PARKING REQ'D FOR UNITS-	1 Parking x 38 = 38 Parkings
NUMBER OF PARKING FOR UNITS	26 Parking -Exterior + 39 Garage parking = 65 parkings
TOTAL NUMBER OF REQUIRED PARKINGS	38 + 8 = 46 Parkings
TOTAL NUMBER OF PROVIDED PARKINGS	26 + 39 = 65 Parkings
Barrier Free Parking required	2 Parkings
Barrier Free Parking Provided	Provided 6 parking

DATA

PROJECT : PROPOSED 5 STOREY
/ 38 UNITS BUILDING APARTMENT
ZONING - R3 -
BUILDING SIZE 75.54 M X 18.541 M +/- IRREGULAR
BUILDING AREA - 1350.5 SQ. M

A)	LOT AREA (SQ. M) -	4459.84 SQ.M
	MIN. LOT AREA REQ'D -	115 SQ.M X 38 SQ.M = 4370 SQ.M
B)	LOT FRONTAGE (M) -	39.0 M
	MIN. LOT FRONTAGE REQ'D -	20 M
C)	FRONT YARD SETBACK (M) -	6.085 M AND 8.1 M
	MIN. FRONT YARD REQ'D -	6 M
	MIN. FRONT YARD ABOVE THE 3 RD -	8 M
D)	EXTERIOR SIDE YARD SETBACK (M) -	6.1 M BUILDING
	MIN. EXTERIOR SIDE YARD REQ'D -	4.516 M BALCONY 4.5 M
E)	INTERIOR SIDE YARD SETBACK (M) -	17.216 M
	MIN. SIDE YARD REQ'D -	3 M
F)	REAR YARD SETBACK (M) -	18.212 M
	MIN. REAR YARD REQ'D -	1.5 M
H)	LANDSCAPED OPEN SPACE (%) -	33.9 % = 1511.54 SQ.M
	MIN. LANDSCAPED OPEN SPACE -	30 %
J)	BUILDING HEIGHT (M) -	+/- 17.8 M / 5 STOREY
	MAX. BUILDING HEIGHT -	20 M / 5 STOREY
L)	AMENITY AREA (SQ. M) -	450 SQ.M (SEE SHADED AREA)
	AMENITY AREA REQ'D -	440 SQ.M

KEY PLAN



LEGEND :

PROPOSED CONSTRUCTION	
Balcony	
GREEN (Sod & Seed)	
CONCRETE SIDEWALK	
ASPHALT PAVEMENT	
AMENITY AREA	
VARIANCE REQUIRED IN ZONING VC Exceptions	

PRELIMINARY DRAWINGS
NOT FOR CONSTRUCTION

PRODUCTS & MATERIAL
SHALL NOT BE ORDERED
WITH THESE DRAWINGS

NO.	REVISIONS	DATE
1	ISSUED FOR SITE PLAN CONTROL	4/01/2025
6	ISSUED FOR APPROVAL	01/06/2025
5	ISSUED FOR CHANGES	11/04/2025
4	ISSUED FOR CHANGES	30/10/2024
3	ISSUED FOR CHANGES	31/07/2024
2	ISSUED FOR CHANGES	15/05/2024
1	ISSUED FOR PRELIMINARY	19/03/2024

LAVOIE
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EMAIL: INFO@LAVOIEDESIGN.CA
613-443-3461

PROJECT NAME	
PROPOSED 5 STOREY APARTMENT BUILDING WITH INTERIOR PARKING FOR MELANIE CONSTRUCTION INC. BLOCK 130 / FAUBOURG STE-MARIE EMBRUN	
PROJECT NO.	2024-0001
DRAWINGS NO.	SP1
DRAWN BY	L.LAVOIE
VERIFIED BY	L.LAVOIE