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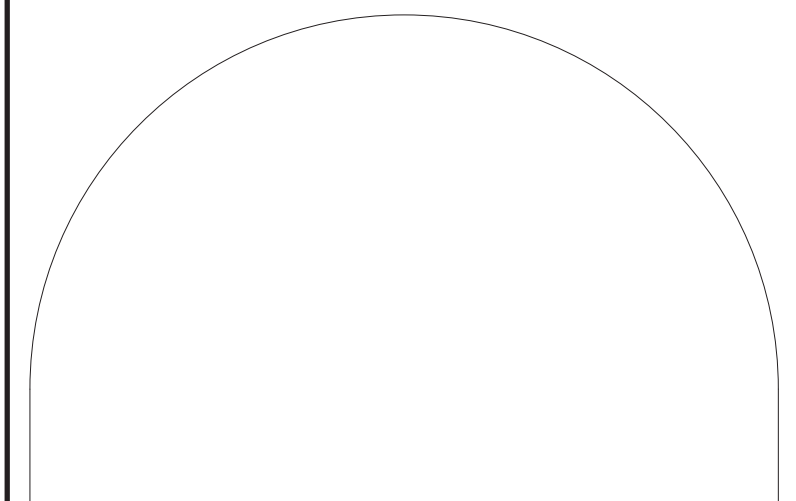
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EDWARD J. CUHACI & ASSOCIATES ARCHITECTS Inc.
171 Slater St, Suite 100, Ottawa, Ontario, K1P 5H7
Fax: (613) 236-1944 Telephone: (613) 236-7135 E-mail: info@cuhaci.com

PROJECT TITLE/TITRE DU PROJET
RUSSELL ELEMENTARY SCHOOL

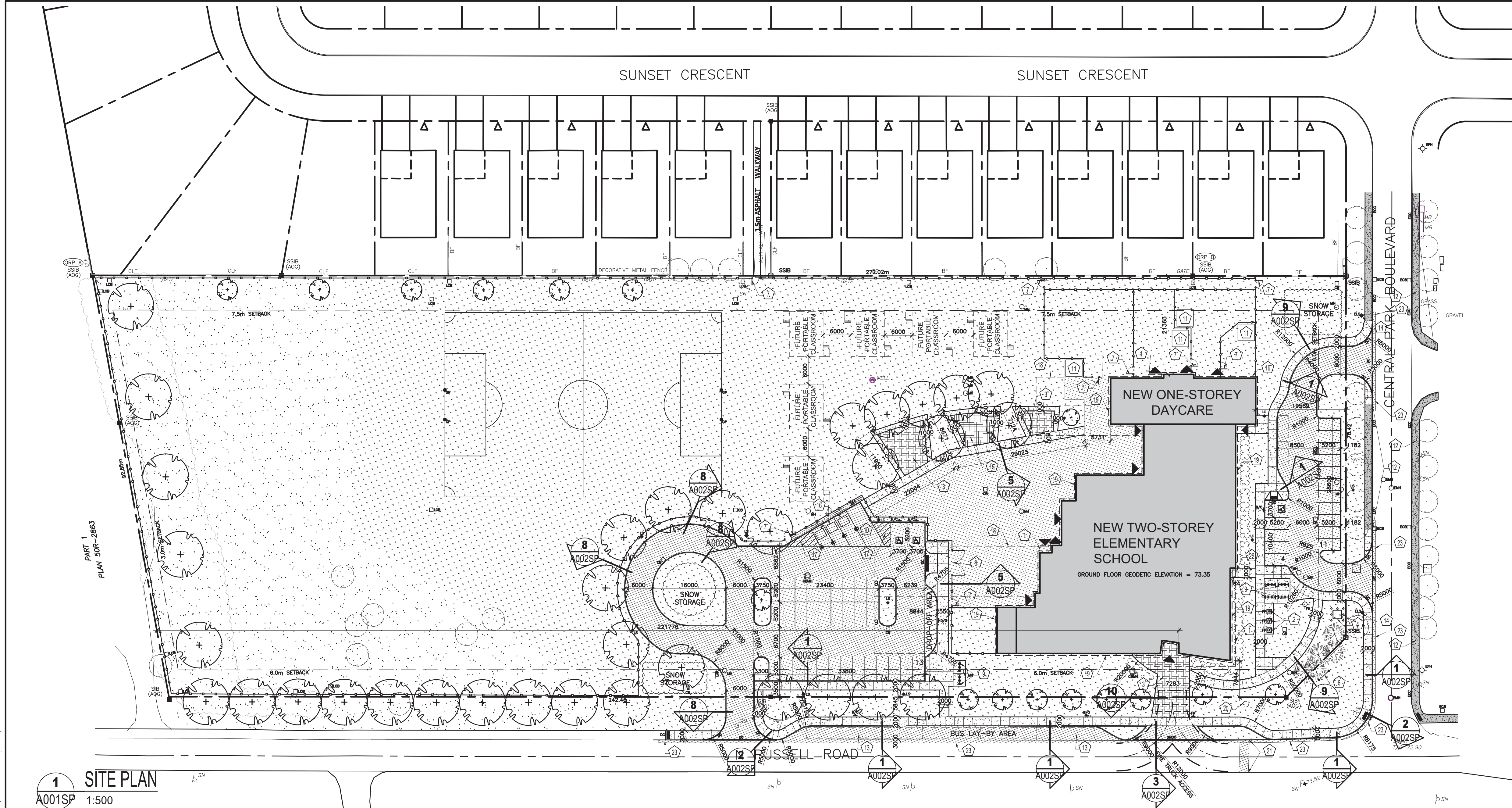
963 NORTH RUSSELL ROAD
RUSSELL, ONTARIO

CONSEIL DES ÉCOLES PUBLIQUES
DE L'EST DE L'ONTARIO
2445 BOUL. ST-LAURENT, OTTAWA, ON

DRAWING TITLE/TITRE DU DESSIN

SITE PLAN

SCALE ECHELLE	AS SHOWN	PROJ. No 2519	ISSUE No 1	REV. No 0
DRAWN BY DESSINE PAR	SL/AC	DRAWING/DESSIN	A001SP	
CHECKED BY VÉRIFIER PAR	XF			
DATE	2025	ACAD FILE/FICHIER: 2519-A001SP.DWG		



SITE DATA				PARKING CALCULATIONS				LEGEND				SITE PLAN NOTES				GENERAL NOTES																																										
SITE AREA24,006.7 m² FOOTPRINT NEW SCHOOL FOOTPRINT2,191.3 m² PORTABLES FOOTPRINT428.1 m² SCHOOL W/ PORTABLES FOOTPRINT2,619.4 m² GROSS FLOOR AREA (AS PER TOWNSHIP OF RUSSELL ZONING BY--LAW DEFINITION) NEW SCHOOL G.F.A. (INCLUDING DAYCARE)3,410.5 m² PORTABLES GROSS FLOOR AREA428.1 m² SCHOOL W/ PORTABLES GROSS FLOOR AREA3,838.6 m² TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY CALLON DIETZ INCORPORATED LEGAL DESCRIPTION: BLOCKS 123 AND 124 REGISTERED PLAN 50M--332 IN THE TOWNSHIP OF RUSSELL, COUNTY OF RUSSELL				MINIMUM PARKING REQUIREMENTS: ELEMENTARY SCHOOL: 1.5 SPACES PER CLASSROOM DAYCARE: <table><tr><th>REQUIRED</th><th>USE</th><th>No. CLASS</th><th>SPACES PER</th><th>SPACES REQ'D</th></tr><tr><td></td><td>ELEMENTARY SCHOOL</td><td>12</td><td>1.5 / CLASS</td><td>18</td></tr><tr><td></td><td>FUTURE PORTABLES</td><td>6</td><td>1.5 / CLASS</td><td>9</td></tr><tr><td></td><td>DAYCARE</td><td>440M²</td><td>2/100M²</td><td>9</td></tr><tr><td></td><td colspan="3">TOTAL REQUIRED PARKING SPACES</td><td>32</td></tr><tr><td></td><td colspan="3">TOTAL REQUIRED PARKING SPACES FOR THE PHYSICALLY DISABLED</td><td>2</td></tr><tr><td></td><td colspan="3">LOADING SPACES REQUIRED</td><td>1</td></tr></table> PROVIDED NEW REGULAR @ 5.2mD X 2.6mW46 NEW BARRIER FREE @ 5.2mD X 3.7mW3 TOTAL SPACES PROVIDED49 LOADING SPACES PROVIDED1				REQUIRED	USE	No. CLASS	SPACES PER	SPACES REQ'D		ELEMENTARY SCHOOL	12	1.5 / CLASS	18		FUTURE PORTABLES	6	1.5 / CLASS	9		DAYCARE	440M ²	2/100M ²	9		TOTAL REQUIRED PARKING SPACES			32		TOTAL REQUIRED PARKING SPACES FOR THE PHYSICALLY DISABLED			2		LOADING SPACES REQUIRED			1	BARRIER FREE PARKING BUILDING ENTRANCE/EXIT EXISTING CONCRETE CURB NEW CONCRETE CURB DEPRESSED CURB SEMI-MOUNTABLE DEPRESSED CURB NEW VINYL COATED CHAIN LINK FENCE, 1220 mm HIGH NEW VINYL COATED CHAIN LINK FENCE, 1830 mm HIGH ROAD CENTER LINE FIRE ROUTE SET BACK LINE PROPERTY LOT LINE BOLLARD, SEE DETAIL 6/A002SP GOAL POST, SEE DETAIL 3/A003SP EXISTING LIGHT STANDARD, SEE SURVEY NEW LIGHT STANDARD, SEE DETAIL 1/A003SP AND ELECTRICAL DRAWINGS EXISTING FIRE HYDRANT, SEE SURVEY NEW FIRE HYDRANT FIRE DEPARTMENT CONNECTION, REFER TO MECHANICAL DRAWINGS EXISTING MANHOLE, SEE SURVEY NEW MANHOLE, REFER TO CIVIL DRAWINGS NEW CATCH BASIN MANHOLE, REFER TO CIVIL DRAWINGS NEW LANDSCAPE CATCH BASIN, REFER TO CIVIL DRAWINGS EXISTING CATCH BASIN NEW CATCH BASIN				SIB IRON BAR, REFER TO SURVEY FP FLAG POLE BASE, SEE DETAIL 2/A003SP FR FIRE ROUTE SIGN (BILINGUAL) H/C DISABLED PARKING PERMIT (Rd-93) (BILINGUAL) D/O DROP-OFF SIGN B/O BUS LAY-BY ONLY SIGN LA LOADING AREA SIGN NEW TWO STOREY ELEMENTARY SCHOOL AND NEW ONE STOREY DAYCARE NEW CONCRETE WALK WITH SAWCUTS TYPE 1 ASPHALT: HEAVY DUTY TYPE 2 ASPHALT: LIGHT DUTY NEW SOD AND TOPSOIL (REFER TO LANDSCAPE DRAWING) NEW SEEDDED GRASS (REFER TO LANDSCAPE DRAWING) UNIT PAVERS ENGINEERED WOOD FIBER EXISTING CONCRETE SIDEWALK AND CURB				CANOPY OR 2ND FLOOR ABOVE FLAGPOLES UNIT PAVERS TRANSFORMERS/SWITCHGEAR CONCRETE PAD C/W BOLLARDS AS PER HYDRO ONE STANDARDS. COORDINATE LOCATION AND SIZE WITH ELECTRICAL DRAWINGS AND HYDRO ONE NOT USED SCHOOL SIGN, SEE SITE DETAILS NEW 1500mm WIDE GATE IN CHAIN LINK FENCE NEW 6000mm WIDE DOUBLE GATE IN CHAIN LINK FENCE, C/W FOOTBOLT REST BIKE RACKS LOADING SPACE 3.5m x 9m 3.6mx3.6m, 150mm THICK CONCRETE PAD WITH COMPACTED GRANULAR BASE FOR FUTURE STORAGE SHED (N.I.C.) EXISTING CURB AND CONCRETE SIDEWALK TO REMAIN PROVIDE DIAGONAL LINE PAINTING IN THE AREAS OF "BUS LAY--BY", 3000mm WIDE EXISTING LIGHT STANDARD TO REMAIN ENGINEERED WOOD FIBER PLAY AREA, SEE SPECIFICATIONS SEMI--BURIED GARBAGE CONTAINER, REFER TO SPEC AND DETAILS PAINTED LINE MARKINGS OUTLINE OF FUTURE ADDITION CONTINUOUS WEEPING TILE AT FOUNDATION, ALSO REFER TO CIVIL AND MECHANICAL DRAWINGS FOR CONNECTIONS EXISTING HYDRO POLE TO BE REMOVED, ALSO REFER TO ELECTRICAL DRAWINGS AND HYDRO ONE PROVIDE TRENCHING FOR NEW BELOW GRADE ELECTRICAL SERVICES. BACKFILL AND REINSTATE NEW HEAVY DUTY ASPHALT INCLUDING NEW GRANULAR BASE AT COMPLETION OF ELECTRICAL WORK. ALSO REFER TO ELECTRICAL AND CIVIL DRAWINGS. FIRE DEPARTMENT CONNECTION, ALSO REFER TO MECHANICAL SAWCUT AND REMOVE ±600mm EXISTING ASPHALT PAVING & GRANULAR BASE TO ACCOMMODATE NEW WORK. REINSTATE WITH HEAVY DUTY PAVING INCLUDING NEW GRANULAR BASE				1. EXTENT OF CONTRACT IS LIMITED TO WITHIN SCHOOL AND PARK PROPERTIES, EXCEPT WHERE SHOWN OTHERWISE. 2. ALL WORK OUTSIDE PROPERTY LINE TO BE CONSTRUCTED TO THE TOWNSHIP OF RUSSELL CONSTRUCTION STANDARDS. 3. PARKING STALL SIZE: 2600mm x 5200mm ACCESSIBLE PARKING STALL SIZE: 3700mm x 5200mm 4. FOR LANDSCAPING/PLANTING DETAILS SEE DRAWING AS PREPARED BY JAMES B. LENNOX AND ASSOCIATES 5. FOR SITE GRADING INFORMATION SEE GRADING AND DRAINAGE DRAWING AS PREPARED BY WSP 6. FOR SITE SERVICES INFORMATION SEE SITE SERVICES DRAWING AS PREPARED BY WSP 7. FOR SOIL INVESTIGATION REPORT REFER TO REPORT PREPARED BY LASCELLES ENGINEERING AND ASSOCIATES LTD 8. SLOPES OF CONCRETE/PAVING AT DEPRESSED CURBS SHALL NOT EXCEED 5% 9. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT AND ERRORS TO THE ARCHITECT. CONTRACTOR TO COORDINATE WITH ALL DRAWINGS 10. FOR SITE SURVEY INFORMATION, SEE TOPOGRAPHIC SURVEY DRAWINGS AS PREPARED BY CALLON DIETZ INCORPORATED 11. PAINT PAVEMENT MARKINGS: PARKING SPACES AND SYMBOLS, PEDESTRIAN CROSSINGS AND WHERE SHOWN ON DRAWINGS 12. CONTRACTOR SHALL REINSTATE ALL AREAS AND SITE ITEMS LOCATED OUTSIDE THE PROPERTY LINE DAMAGED AS A RESULT OF NEW CONSTRUCTION			
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TOWNSHIP OF RUSSELL ZONING																																																										
REQUIRED		PROVIDED																																																								
LOT AREA	MIN.	900m ²	24,006.7m ²																																																							
LOT FRONTAGE	MIN.	30m	78m																																																							
FRONT YARD SETBACK	MIN.	6m	19.5m																																																							
EXTERIOR SIDE YARD SETBACK	MIN.	6m	7.9m																																																							
INTERIOR SIDE YARD SETBACK	MIN.	3m	21.3m																																																							
REAR YARD SETBACK	MIN.	7.5m	182m																																																							
LANDSCAPE OPEN SPACE	MIN.	10%	81%																																																							
BUILDING HEIGHT	MAX.	20m	9.525m																																																							
BICYCLE PARKING																																																										
RATIO		1 PER 200m ² OF GROSS FLOOR AREA																																																								
NEW BUILDING GROSS FL. AREA		3410.5 M SQ																																																								
PORTABLE GROSS FL. AREA		428.1 M SQ																																																								
TOTAL GROSS FLOOR AREA		3838.6 M SQ																																																								
TOTAL REQUIRED PARKING		19 PARKING SPOTS																																																								
PROVIDED BICYCLE PARKING		54 PARKING SPOTS																																																								