

ROAD ALLOWANCE BETWEEN THE TOWNSHIP OF RUSSELL AND THE GEOGRAPHIC TOWNSHIP OF CUMBERLAND KNOWN AS CHEMIN BURTON ROAD

SUBJECT TO EASEMENT INST. RC188663

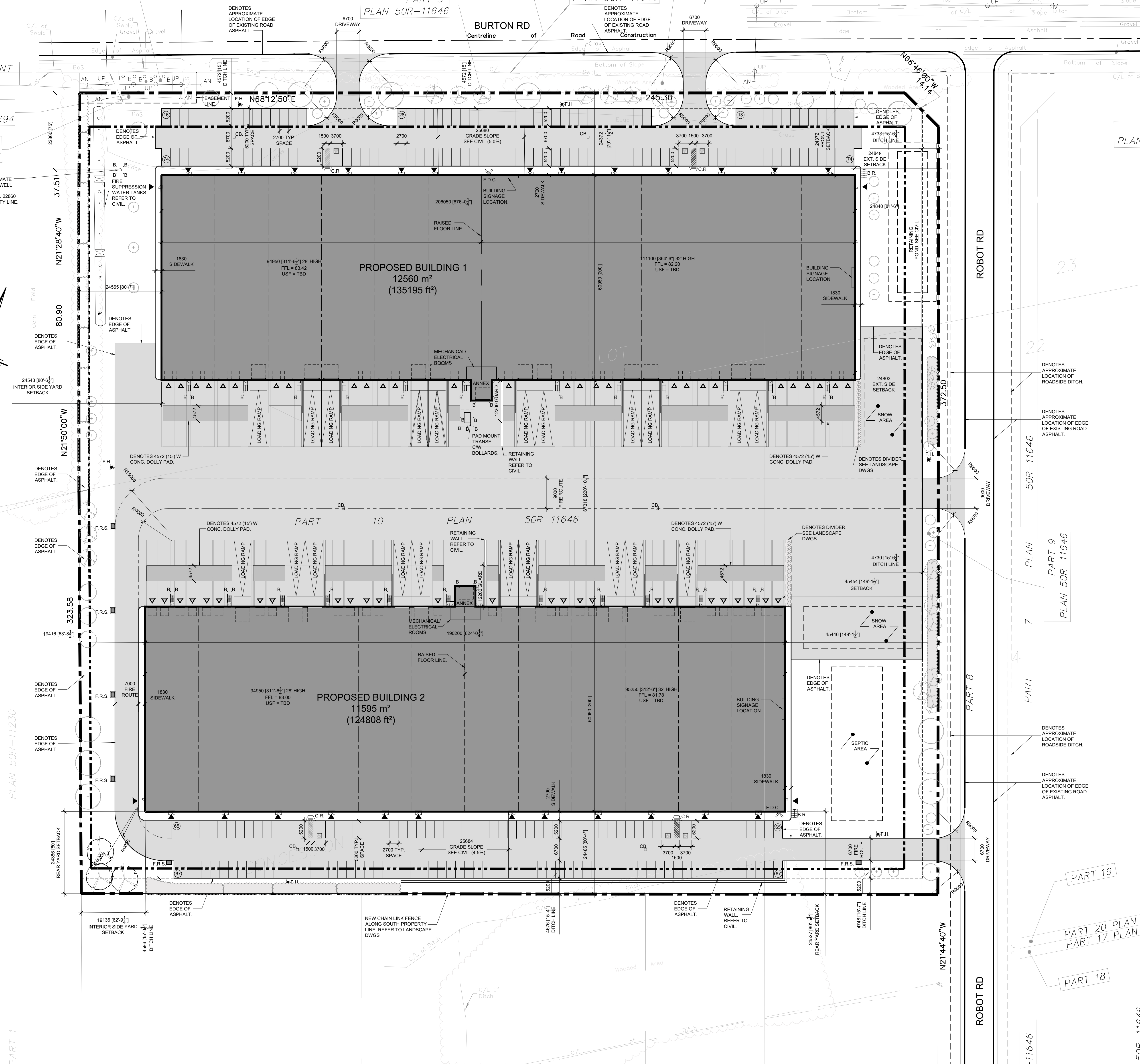
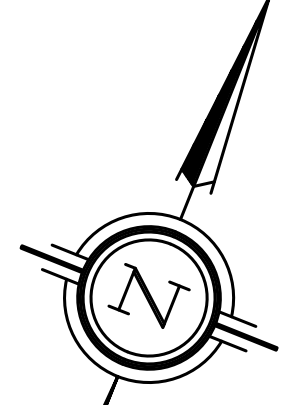
PART 1 PLAN 50R-11694

PART 3 PLAN 50R-11646

PART 4 PLAN 50R-11646

PART 2 PLAN 50R-11694

PART 3 PLAN 50R-11694



LEGEND

- PROPERTY BOUNDARY LINE
- SET BACK LINE
- APPROXIMATE NEW DITCH LINE
- FIRE ROUTE LANES
- LIGHT-DUTY PAVEMENT. REFER TO CIVIL DWGS.
- FIRE ROUTE (HEAVY DUTY ASPHALT) REFER TO CIVIL DWGS.
- PROPOSED BUILDING
- CONCRETE SURFACE. REFER TO CIVIL DWGS.
- GRASS SURFACE AREA
- MAN DOOR LOCATIONS
- OH DOOR LOCATIONS
- CONCRETE CURB RAMP CW TWIS. REFER TO DWG 1A002 FOR DETAILS.
- F.R.S. DENOTES FIRE ROUTE SIGNAGE LOCATION. REFER TO DWG 1A002 FOR DETAILS.
- B.R. BICYCLE RACK (4 SPACES)
- DENOTES BOLLARDS. REFER TO CIVIL DWGS FOR DETAIL.
- F.H. DENOTES FIRE HYDRANT LOCATION. REFER TO CIVIL DWGS.
- F.D.C. DENOTES FIRE DEPARTMENT CONNECTION. REFER TO CIVIL DWGS.

GENERAL NOTES:

- REFER TO SKETCH SHOWING TOPOGRAPHICAL INFORMATION OF PARTS 1, 9, 10, 11, 12, 13 & 14 417 INDUSTRIAL PARK, TOWNSHIP OF RUSSELL, COUNTY OF RUSSELL, PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD, ONTARIO LAND SURVEYORS.
- REFER TO SURVEY OF PART OF LOTS 22 AND 23, CONVESSION 4, TOWNSHIP OF RUSSELL, COUNTY OF RUSSELL PREPARED BY ANNIS, O'SULLIVAN, VOLLEBECK LTD, ONTARIO LAND SURVEYORS.
- APPROXIMATE LOCATION OF ROBOT RD EXTENSION TAKEN AND BASED OFF OF DRAWINGS C001, C101, C302, C303, C502 BY IRL ENGINEERING DATED AUGUST 27, 2025 AND ISSUED FOR CONSTRUCTION PROVIDED BY THE CLIENT. REFER TO THESE DRAWINGS FOR CONFIRMATION OF ROAD DESIGN OR CLS SURVEY FOR EXACT LOCATIONS.

SITE DATA:

GROSS AREA: 24,155 m²

GROSS FLOOR AREA: (Russell Township Zoning By-law) Shall Mean: for a building or part of a building other than a dwelling, dwelling unit home-based business, rural home-based business or home industry, the total area of all the storeys contained within the outside walls of the building, excluding common storage areas necessary to the primary use of the building located entirely in a basement.

BUILDING 1:	12,560 m ²
BUILDING 2:	11,955 m ²
TOTAL	24,155 m²

GROSS AREA: (Ontario Building Code definition). The total area of all floors above grade measured between the outside surfaces of exterior walls or between the outside surfaces of exterior walls and the centre line of firewalls, except that, in any occupancy other than a residential occupancy, where an access or a building service penetrates a firewall, measurements shall not be taken to the centre line of such firewall.

BUILDING 1:	12,560 m ²
BUILDING 2:	11,955 m ²
TOTAL	24,155 m²

ZONING:

1.0 BUSINESS, INDUSTRIAL, & COMMERCIAL PARK ZONES (SECTION 7):
(MP2) ZONE BASED ON SCHEDULE A5a

2.0 INDUSTRIAL PARK ZONE - UN-SERVICED - (MP2) (SECTION 7.4):
INDUSTRIAL PARK ZONE - UN-SERVICED - (MP2)

PERMITTED USES (SECTION 7.4.1): WAREHOUSE

3.0 ZONE REQUIREMENTS (SECTION 7.4.2)

	REQUIRED	PROVIDED
a) LOT AREA (MINIMUM):	4000 m ²	60,702.8 m ²
b) LOT FRONTAGE (MINIMUM):	35 m	255.3 m
c) FRONT YARD SETBACK (MINIMUM):	10 m	24,372 m
d) EXTERIOR SIDE YARD SETBACK (MINIMUM):	10 m	24,848 m
e) INTERIOR SIDE YARD SETBACK (MINIMUM):	3 m	9,966 m
f) REAR YARD SETBACK (MINIMUM):	7.5 m	24,379 m
g) LANDSCAPE OPEN SPACE (MINIMUM):	10 %	9524 m ² (15.7%)
h) LOT COVERAGE (MAXIMUM):	50 %	41.38 %
i) BUILDING HEIGHT (MAXIMUM):	15 m	11.28 m

4.0 PARKING REGULATIONS (SECTION 3.41):
REQUIREMENTS: (SECTION 3.41.1) TABLE 7:

WAREHOUSE: 0.8 parking spaces/100m² of GFA.

BUILDING 1 = 0.8/100m ² of GFA (12560 m ²) = 98
BUILDING 2 = 0.8/100m ² of GFA (11955 m ²) = 83
TOTAL: 194 SPACES

Required Provided:
EMPLOYEE/VISITOR: 257
BARRIER-FREE: 6
TOTAL: 263 SPACES

Provided: (261) 90' SPACES, 2.6 m WIDE X 5.2 m LONG SPACES

5.0 BARRIER FREE PARKING (SECTION 3.41.4):
REQUIREMENTS: (SECTION 3.41.4) TABLE 10:

Minimum Required:
263/263 NUMBER OF PARKING SPACES = 4 BARRIER FREE PARKING REQUIRED
TOTAL: 261 = 4 SPACES

Provided: 6 CW REQUIRED SIGNAGE, 3.7 m WIDE X 5.2 m LONG CW 1.5 M ACCESS AISLE

6.0 LOADING REQUIREMENTS (SECTION 3.30):
NUMBER OF SPACES REQUIRED: (SECTION 3.30.1) TABLE 6: LOADING REQUIREMENTS

Minimum Required:
3 FOR BUILDINGS EXCEEDING 7,500 m² OF GROSS FLOOR AREA
BUILDING 1 = (12560 m²) = 3 SPACES
BUILDING 2 = (11955 m²) = 3 SPACES
TOTAL: 6 SPACES

Provided: BUILDING 1 = 30 LOADING SPACES
BUILDING 2 = 30 LOADING SPACES

6.0 BICYCLE PARKING (SECTION 3.6):
REQUIREMENTS: (SECTION 3.6) TABLE 2:

WAREHOUSE: 1 SPACE/4000m² of GFA.

BUILDING 1 = 1/4000m ² of GFA (12560 m ²) = 4
BUILDING 2 = 1/4000m ² of GFA (11955 m ²) = 3
TOTAL: 7 SPACES

Required Provided:
BUILDING 1: 4
BUILDING 2: 4
TOTAL: 8 SPACES

Provided: 8 HORIZONTAL SPACES, 0.6 m WIDE X 1.8 m LONG CW 1.5 m MIN. ACCESS AISLE

CLIENT

MEGHA HOLDINGS INC.

PROJECT NORTH

ISSUE	DESCRIPTION	DATE
06	ISSUED FOR SITE PLAN CONTROL	02/26/2026
05	ISSUED FOR COORDINATION	18/01/2026
04	ISSUED FOR COORDINATION	07/01/2026
03	ISSUED FOR COORDINATION	09/12/2025
02	ISSUED FOR CLIENT REVIEW	04/12/2025
01	ISSUED FOR DISCUSSION	01/12/2025

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND PROMPTLY REPORT ALL ERRORS AND/OR OMISSIONS TO THE CONSULTANT BEFORE WORK COMMENCES.

ALL WORK IS TO FOLLOW THE OBC 2024 AND ANY OTHER APPLICABLE CODES AND REGULATIONS.

DO NOT SCALE DRAWINGS.

PROFESSIONAL STAMP

PROJECT

VARS DEVELOPMENT

DRAWING

PRELIMINARY SITE PLAN

PROJECT No:	108	REVISION:	05
DRAWN:	SL	DATE:	DECEMBER 2025
APPROVED:	SLIES	SCALE:	AS SHOWN
DRAWING No:	A001		